

# CITY OF ONALASKA MEETING NOTICE

**COMMITTEE/BOARD:** Plan Commission  
**DATE OF MEETING:** April 24, 2018 (Tuesday)  
**PLACE OF MEETING:** City Hall-415 Main Street (Common Council Chambers)  
**TIME OF MEETING:** 7:00 P.M.

## PURPOSE OF MEETING

1. Call to Order and roll call.
2. Approval of minutes from the previous meeting.
3. Discussion regarding Wisconsin 2017 Act 67 (related to Conditional Use Permits).
4. Public Input (limited to 3 minutes per individual).

### **Consideration and possible action on the following items:**

5. **Public Hearing: Approximately 7:00 PM (or immediately following Public Input)** and consideration of a Conditional Use Permit application to allow the conversion of existing commercial space into a one (1) bedroom apartment at 513 2<sup>nd</sup> Avenue South, Onalaska, WI 54650, submitted by Curt Fossum, 324 6<sup>th</sup> Avenue North, Onalaska, WI 54650. (Tax Parcel # 18-68-0)
6. **Public Hearing: Approximately 7:10 PM (or immediately following previous hearing at 7:00 PM)** and consideration of a Conditional Use Permit application to allow the operation of a child care center at 980 12<sup>th</sup> Avenue South, Onalaska, WI 54650 submitted by Mitch Lown of Ironside Properties, LLC, 1220 Oak Forest Drive, Onalaska, WI 54650. (Tax Parcel # 18-3131-2)
7. **Public Hearing: Approximately 7:20 PM (or immediately following previous hearing at 7:10 PM)** and consideration of a Conditional Use Permit application to allow the construction of an automotive dealership/vehicle sales/repairs facility at 207 Marcou Road, Onalaska, WI 54650 submitted by Paul Borsheim of Borton Construction, Inc., 2 Copeland Avenue, Suite 201, La Crosse, WI 54601 on behalf of Marvin Wanders of Stizo Development, LLC., PO Box 609, La Crosse, WI 54602-0609. (Tax Parcel #18-3627-2)

PLEASE TAKE FURTHER NOTICE that members of the Common Council of the City of Onalaska who do not serve on the committee may attend this meeting to gather information about a subject over which they have decision making responsibility. Therefore, further notice is hereby given that the above meeting may constitute a meeting of the Common Council and is hereby noticed as such, even though it is not contemplated that the Common Council will take any formal action at this meeting.

#### **NOTICES MAILED TO:**

Mayor Joe Chilsen  
\_\_\_\_\_  
\*Ald. Jim Binash  
\_\_\_\_\_  
Ald. Jim Olson – Chair  
\_\_\_\_\_  
Ald. Jerry Every  
\_\_\_\_\_  
Ald. Diane Wulf  
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Ald. Ron Gjertsen  
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Ald. Kim Smith  
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\* Jarrod Holter, City Engineer \*\*Kevin Schubert  
\_\_\_\_\_  
City Attorney City Administrator  
\_\_\_\_\_  
La Crosse Tribune Dept. Heads.  
\_\_\_\_\_  
Coulee Courier FOX  
\_\_\_\_\_  
WKTY WLXR WKBT WXOW WLAX  
\_\_\_\_\_  
\*Committee Members

\_\_\_\_\_  
\*Jan Brock \*Knut Temte  
\_\_\_\_\_  
\*Paul Gleason \*Craig Breitsprecher  
\_\_\_\_\_  
\*Parks & Rec Chair  
\_\_\_\_\_  
\*\*Alternate – Vice Chair Parks & Rec  
\_\_\_\_\_  
\_\_\_\_\_  
Curt Fossum Jeffrey Moorhouse  
\_\_\_\_\_  
Mitch Lown Time Enterprise, Inc.  
\_\_\_\_\_  
Paul Borsheim/Marvin Wanders  
\_\_\_\_\_  
\_\_\_\_\_  
Onalaska Omni Center  
\_\_\_\_\_  
Onalaska Public Library  
\_\_\_\_\_  
\* \* Alternate Member – for City Engineer

Date Notices Mailed and Posted: 4-19-18

In compliance with the Americans with Disabilities Act of 1990, the City of Onalaska will provide reasonable accommodations to qualified individuals with a disability to ensure equal access to public meetings provided notification is given to the City Clerk within seventy-two (72) hours prior to the public meeting and that the requested accommodation does not create an undue hardship for the City.

8. **Public Hearing: Approximately 7:30 PM (or immediately following previous hearing at 7:20 PM)** and consideration of a Rezoning application filed by Terry Weiland, 600 L Hauser Road, Onalaska, WI 54650 to rezone a parcel at 2201 Abbey Road, Onalaska, WI 54650, from Single Family Residential (R-1) District to Multi-Family Residential (R-4) District for the purpose of constructing a four (4) unit townhome/row house. (Tax Parcel #18-4511-301)
9. Review and Consideration of a Final Implementation Plan (FIP) for a Downtown Planned Unit Development (D-PUD) application filed by Jeffery Moorhouse, of Onalaska United Methodist Church, 212 4<sup>th</sup> Avenue North, Onalaska, WI 54650, for the purpose of expanding United Methodist Church utilizing a three-phased approach which include the following parcels located at 212 4<sup>th</sup> Avenue North, 222 4<sup>th</sup> Avenue North, 412 Locust Street, 418 Locust Street, 213 5<sup>th</sup> Avenue North, and 415 King Street, Onalaska, WI 54650. (Tax Parcel #'s: 18-229-0, 18-228-0, 18-233-0, 18-234-0, 18-232-0, & 18-231-0).
10. Consideration of a non-substantial change to the Theater Road Center Planned Commercial Industrial District (PCID) located at 531 Theater Road, submitted by Paul Borsheim of Borton Construction, Inc., 2 Copeland Avenue, Suite 201, La Crosse, WI 54601, on behalf of Time Enterprise, Inc., PO Box 155, West Salem, WI 54669 (Tax Parcel #18-3580-5).
11. Adjournment.

## **ACT 67 - CONDITIONAL USE PERMITS**

Pursuant to Act 67 passed in December 2017 the standard for review of Conditional Use Permits by Planning Commissions has changed in two significant ways. First, the burden of proof for denying a permit or imposing a condition is on the City and not on the applicant. In other words, unless there is a substantial reason to impose a condition or deny a permit, the permit must be issued without conditions. Second, any condition imposed must be based upon substantial evidence. Substantial Evidence must be fact based and cannot be based upon personal feeling, emotion or conjecture.



# *CITY OF ONALASKA*

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## *STAFF REPORT*

Plan Commission – April 24, 2018

Agenda Item:

# 3

Agenda Item: Discussion regarding Wisconsin 2017 Act 67 (related to Conditional Use Permits).

Background:

Wisconsin 2017 Act 67 has great impacts to Conditional Use Permits as issued by the Plan Commission. Please see the attached Fact Sheet put together by Legal Counsel and City Staff that details what types of Conditions of Approval are now allowable, how the Plan Commission may respond to public testimony during a public hearing, how the Plan Commission may act on Conditional Use Permit applications, and if the Plan Commission may deny a Conditional Use Permit application.

With this recent legislation, City Staff and Legal Counsel intend to propose text amendments at the following Plan Commission meeting to address some of the concerns of Wisconsin 2017 Act 67.

The intention of this agenda item is inform and discuss with the Plan Commission the impact of Wisconsin 2017 Act 67 and their ability to create and issue Conditional Use Permits moving forward in the City of Onalaska.

# **ACT 67 FACT SHEET – MANDATED CHANGES DUE PASSAGE**

## **BURDEN SHIFTED TO CITY OF ONALASKA TO ENSURE SUBSTANTIAL EVIDENCE FOR ALL CUP CONDITIONS MOVING FORWARD**

Act 67 modified the zoning enabling statute to require that any CUP “condition imposed must be related to the purpose of the ordinance and *be based on substantial evidence*”<sup>1</sup> and that the further that requirements and conditions imposed by the Planning Commission “*must be reasonable and, to the extent practicable, measurable...*”<sup>2</sup>

As a result of ACT 67, when a Conditional Use Permit application is presented at a Plan Commission meeting, the following must be considered:

- 1. Are the proposed Conditions of Approval tied to the Conditional Use Permit Application based on Substantial Evidence and do they alleviate the impacts of the Conditional Use if approved?**
  - a. Substantial Evidence is defined as facts and information other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.<sup>3</sup> The evidence will be provided in the City staff report and/or public testimony. The following are examples of or types of information that the Plan Commission can rely on as Substantial Evidence\*:
    - a. Facts that directly pertain to the requirements and conditions set forth in the City’s Zoning Code and the CUP application.
    - b. Evidence-Based Information:
      1. Appraisals or Certified Market Analysis;
      2. Traffic Studies;
      3. Information provided from professional sources, with the sources cited (Engineering Department, Department of Transportation, Professional Appraisal, Accounting, Legal, Engineering, Construction services etc.);
      4. Noise Pollution Studies/Information; and/or
      5. State Statutes, Municipal Ordinances and other applicable federal, state or local laws.

\*This list is not exhaustive but meaning to give a representation of the types of evidence allowed, additionally as ACT 67 is litigated it is likely that we will have a better understanding of what constitutes substantial evidence.

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<sup>1</sup> Wis. Stat. 62.23(7)(de)2.a.

<sup>2</sup> Wis. Stat. 62.23(7)(de)2.b.

<sup>3</sup> Wis. Stat. 62.23(7)(de)1.b

## 2. Plan Commission's Response to Public Testimony during the Public Hearing.

- a. If during the Public Hearing, new public testimony is offered that based upon Substantial Evidence (as defined above), the Plan Commission may discuss and consider the testimony and add conditions to alleviate concerns as necessary.
- b. If no public testimony is provided at the public hearing or where the testimony provided is based on opinion, such as "we feel/think this will reduce our property value, we are concerned about increased street traffic, we are concerned about safety risks, this will be a blight on the neighborhood" without any actual substantial evidence such as appraisals, traffic studies or reports, market analysis, evidence of noise pollution caused, etc., these statements do not meet the definition of Substantial Evidence and **the Plan Commission MUST DISREGARD THEM**. Further, the Plan Commission should not discuss the comments.

## 3. Plan Commission Action on Conditional Use Permit Applications.

- a. If the applicant accepts the proposed Conditions of Approval tied to the Conditional Use Permit application and no new testimony with Substantial Testimony has been offered (or if the public comments are opinions only), the **Plan Commission MUST grant the CUP with the proposed conditions**.
- b. If the Plan Commission is able to tie new Conditions of Approval, in addition to those of City Staff, based on the Substantial Evidence provided by City Staff, this may occur. However, this is unlikely to occur often as the Substantial Evidence from the City would need to show an issue that is not being addressed (or not adequately addressed) already by the proposed Conditions of Approval and that the Plan Commission's Condition is better suited to address the issue. Unless it would be impossible to add conditions to alleviate the concerns for which substantial evidence has been provided, **the Plan Commission MUST grant the CUP with the conditions Plan Commissions find are supported by the substantial evidence presented**.
- c. If the applicant has not accepted the proposed Conditions of Approval tied to the Conditional Use Permit application, the Plan Commission **MUST still grant the CUP** with the proposed conditions or with any additional conditions that the Plan Commission finds necessary based on the substantial evidence provided by the City Staff. There is arguably more leniency for the Plan Commission to tweak the City Staff's conditions based on the provided Substantial Evidence when the Applicant has not already accepted them. If the applicant does not accept the approved Conditions of Approval and takes no action on the CUP in 12 months – the CUP becomes null and void.

## 4. Can the Plan Commission deny a Conditional Use Permit Application?

- a. Under the new standards it will be nearly impossible to deny a Conditional Use Permit. Only where the Plan Commission could show that there are no possible conditions which would alleviate the Substantial Evidence supported impacts that would be caused by allowing the Conditional Use, could the City defend the denial of a Conditional Use Permit.



# CITY OF ONALASKA

## STAFF REPORT

Plan Commission – April 24, 2018

Agenda Item:

# 5

Agenda Item: Public Hearing & Consideration of a Conditional Use Permit to allow the conversion of existing commercial space into one (1) one-bedroom apartment.

Applicant/Owner: Curt Fossum, 324 6<sup>th</sup> Avenue North, Onalaska, WI 54650

Parcel Number: 18-68-0

Site Location: 513 2<sup>nd</sup> Avenue South, Onalaska, WI 54650

Existing Zoning: Neighborhood Business (B-1) District

### Background:

Curt Fossum has requested a Conditional Use Permit (CUP) to allow the conversion of existing commercial space into one (1) one-bedroom apartment in a Neighborhood Business (B-1) Zoning District. The property in question has two levels and the applicant is requesting to add one (1) one-bedroom apartment on the 2<sup>nd</sup> level, replacing the commercial use. Conversion of commercial space to multi-family residential dwellings is permitted only by Conditional Use Permit per Section 13-5-16 (c) and pursuant to standards set forth in Sections 13-8-11.

### Standards for Review:

The following decision criteria were used to review the submitted conditional use:

1. Compatibility. The property in question is located in the northern building, at the southeast corner of the intersection of State Road 35 and Fern Street. The zoning of land within 250 feet of the proposed site includes the Neighborhood Business, Community Business, Multi-Family Residential, and Single-Family and/or Duplex residential districts. The uses within 500 feet along the same street of the proposed site include a restaurant, personal service establishments, retail, residential dwellings, and a church.
2. Consistency with Comprehensive Plan. The Comprehensive Plan's Future Land Use Plan identifies this parcel as *Downtown Mixed Use District*. The intent of this future land use district is to have pedestrian-focused development with a mix use of uses, including residential, personal services, commercial, institutional and civic uses. Multiple-story, mixed use buildings that include high quality architecture, signage, lighting and streetscape amenities... are strongly encouraged.
3. Importance of Services to the Community. According to the Comprehensive Plan, a Housing Policy includes, "*Infill development providing housing opportunities shall be encourage in Onalaska. Infill site, especially in the central portion of the City, should be considered... when deemed compatible with the Plan*". This property is located in the central portion of the City and is a mixed use development of commercial services and multi-family residential dwellings.
4. Neighborhood Protections. The request to allow one (1) one-bedroom apartment would not require any exterior changes to the property. The conversion of commercial to residential may modify existing traffic patterns in the neighborhood, which could be more conducive to the residential surroundings.

# CITY OF ONALASKA

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## **Substantial Evidence Regarding Conditions of Approval:**

1. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.

**Substantial Evidence:** This condition provides notice to the owner/developer that they are to follow procedure for orderly development in the City of Onalaska in order to promote the health, safety and welfare of the City.

2. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns so long as the conditional use is being actively used.

**Substantial Evidence:** This condition acknowledges and provides public notice of the term and puts the owner/developer and future owners on notice that they are bound by the conditions and that they can continue the use as long as they follow the conditions and actively use the conditional use.

3. Owner/developer from abiding by the City's Ordinances, Unified Development Code and Building Code requirements, as amended.

**Substantial Evidence:** This conditions assures owner/developer understands they must follow the City's Unified Development Code and Building Code which they are required to follow any way and that as they are receiving the benefit of being allowed to have a use that is not within the standards of the City's zoning code, failure to follow City ordinances may result in loss of their conditional use permit.

4. The Conditional Use Permit shall be reviewed every five (5) years to ensure continued use.

**Substantial Evidence:** This shifts the burden to the owner of the property to provide proof that the use is active and continuing. Ensuring that existing permits are still valid and being properly used ensures compliance with the City's procedures and ordinances and promotes interaction and communication with the City which further orderly development and the health, safety and welfare of the City.

## **Action Requested:**

As a public hearing will be held, testimony from the public should be listened to and considered before deciding on the requested Conditional Use Permit application.

# REQUEST FOR ACTION & POSSIBLE CONSIDERATION BY PLAN COMMISSION:

April 24, 2018

## Agenda Item 5:

Public Hearing and Consideration of a Conditional Use Permit application to allow the conversion of existing commercial space into a one (1) bedroom apartment at 513 2nd Avenue South, Onalaska, WI 54650, submitted by Curt Fossum, 324 6th Avenue North, Onalaska, WI 54650, Tax Parcel # 18-68-0.

1. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.  
**UPDATED CONDITION**
2. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns so long as the conditional use is being actively used.  
**UPDATED CONDITION**
3. Owner/developer from abiding by the City's Ordinances, Unified Development Code and Building Code requirements, as amended. **UPDATED CONDITION**
4. The Conditional Use Permit shall be reviewed every five (5) years to ensure continued use.  
**UPDATED CONDITION**



City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

# CONDITIONAL USE PERMIT APPLICATION

The following checklist will ensure the timely processing of your permit:

➔ Overview/ Cover Letter Describing the following:

- ▶ Detailed Description of Proposed Conditional Use
- ▶ Description of how Proposed Conditional Use Meets Unified Development Ordinance Standards (use form on next page or attach an explanation each of the following:):
  - ▶ Compatibility with Surrounding Neighborhood (existing and anticipated development within 250 ft of proposed use and within 500 ft along the same street)
  - ▶ Consistency with the Comprehensive Plan (relationship of proposed use to the goals, objectives and polices)
  - ▶ Importance of Services to the Community (provided by the proposed use)
  - ▶ Neighborhood Protections (avoidance of negative impacts)
  - ▶ Other Factors (pertinent to the proposed use)

➔ Site Sketch and Photographs (if applicable)

➔ \$250 Permit Application Fee (Payable to the City of Onalaska)

*If incomplete, no further processing of the application will occur until the deficiencies are corrected.*

A Conditional Use is a land use or development that would not generally be appropriate within a district but might be allowed in certain locations within the district if specific requirements are met. The compatibility must be judged on the basis of the particular circumstances and may require additional conditions set by the Plan Commission & Common Council before development or occupancy is permitted. The intent is to allow a reasonable degree of discretion in determining the suitability of a particular development at a specific location.

Application for:

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Fence           | <input type="checkbox"/> Two Structures on one parcel | <input type="checkbox"/> Parking Lot   |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Automotive Repair / Sales    | <input checked="" type="checkbox"/> Use <u>Convert commercial to residence</u> |
| <input type="checkbox"/> Bed & Breakfast | <input type="checkbox"/> Warehousing / Storage        | <input type="checkbox"/> Other _____   |

Brief Description of Proposed Conditional Use:

Convert 650 sq ft of commercial space to a one-bedroom apartment unit.

Proposed conditional use must meet the requirements of the Unified Development Ordinance. Per Wisconsin's Open Meeting Law, comments on this permit application, either by the applicant or concerned citizen, shall be raised in person at the scheduled meeting or brought up to City Staff (through conversation, written letter or email) for review at the scheduled meeting. Due to Wisconsin's Open Meeting Law, Plan Commissioners and Councilors are unable to discuss this matter outside of a scheduled public meeting. Thank you.

CHARGE

APPLIED 250.00

TENDERED 250.00

18-68-0 / 513 2ND AVE S 250.00

Paid By: CURT A FOSSUM

CK 250.00 REF: SW - 1680

REC#: R00106764 3/19/2018 8:26 AM

TRAN: 450 PLANNING & ZONING

OPER: COD TERM: 7

TKBY: CASH 00



City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

### CONDITIONAL USE PERMIT APPLICATION

Property Address: 513 2<sup>nd</sup> Ave S

Parcel Number: 18- 68-0

Zoning District: B-1

Applicant:

Contact:

Mailing Address:

City, State, Zip:

Phone Number:

Email:  Primary Contact

Business:

Owner/Contact:

Mailing Address:

City, State, Zip:

Phone Number:

Email:  Primary Contact

Property Owner: Curt Fossum

Contact:

Mailing Address: 324 6th A North

City, State, Zip: Onalaska WI 54650

Phone Number: 608 498 1020

Email:  Primary Contact

The undersigned hereby makes application at the location stated herein. The undersigned agrees that all work shall be done in accordance with the requirements of the City of Onalaska Unified Development Code / Zoning Ordinance and with all other applicable City Ordinances and the laws and regulations of the State of Wisconsin.

Signature of Applicant:

Date: 3-18-18

Signature of Property Owner:

Date:

Compatibility with Surrounding Neighborhood:  
 existing residences to east and funeral home across street has a one-bedroom apartment unit as well.

Consistency with the Comprehensive Plan:  
 mixed use downtown building

Importance of Services to the Community:  
 a need in area for apartment units.

Neighborhood Protections (avoidance of negative externalities):

Other Factors (pertinent to the proposed use):

OFFICE USE ONLY:	Date Submitted: 3/19/18	Permit Number:
Permit Fee: 250	<input type="checkbox"/> Cash <input type="checkbox"/> Check #	Application Received by: KA

**PUBLIC HEARING NOTICE  
BEFORE THE CITY OF ONALASKA  
PLAN COMMISSION**

Please take notice that the City Plan Commission for the City of Onalaska will hold a public hearing on:

**TUESDAY, APRIL 24, 2018  
APPROX. 7:00 P.M.  
(or immediately following public input)**

in Onalaska City Hall, 415 Main Street, Onalaska, WI 54650, at which time they shall consider an application filed by Curt Fossum of 324 6<sup>th</sup> Avenue North, Onalaska, WI 54650 who is requesting a Conditional Use Permit (CUP) for the purpose of converting 650 feet of commercial space into a one bedroom apartment unit at the property located at 513 2<sup>nd</sup> Avenue South, Onalaska, WI 54650.

Property is more particularly described as:

Computer Number: **18-68-0**  
Section 08, Township 16, Range 07,

ORIGINAL TOWN OF ONALASKA LOTS 1 THRU 10 BLOCK 10 EX 50FT  
R/R R/W ACROSS SD LOTS

YOU ARE FURTHER NOTIFIED that the City of Onalaska Plan Commission will hear all persons interested, their agent or attorney, concerning this matter.

More detailed information on this item will be posted to the City of Onalaska website [www.cityofonalaska.com](http://www.cityofonalaska.com) the Friday before the scheduled meeting under Agendas & Minutes/Plan Commission. This posting will contain the Plan Commission Agenda and all attachments referencing this item.

Dated this 6<sup>th</sup> day of April, 2018.

Cari Burmaster  
City Clerk





# CITY OF ONALASKA

## STAFF REPORT

Plan Commission – April 24, 2018

Agenda Item: Public Hearing & Consideration of a Conditional Use Permit request to allow the operation of a child care center.

Applicant/Owner: Mitch Lown of Ironside Properties, LLC,  
1220 Oak Forest Drive, Onalaska, WI 54650

Parcel Number: 18-3131-2

Site Location: 980 12<sup>th</sup> Avenue South, Onalaska, WI

Existing Zoning: Light Industrial (M-1) District

### Background:

Mitch Lown of Ironside Properties, LLC has requested a Conditional Use Permit (CUP) to allow the operation of a child care center in a Light Industrial (M-1) Zoning District (Children's Treehouse Daycare). The child care center will serve up to 144 children and it is expected that there will be between 33-35 employees including teachers and administrative staff/cook when at maximum capacity. The breakdown of staff includes administrative staff/cook (3), classroom teachers (20), and float staff (5), totaling 28 full-time employees and 5-7 part-time employees. The business would operate Monday – Friday from 6:30AM to 6:00PM.

Children's Treehouse Daycare has been in business in the City of Onalaska for 10.5 years, growing from 63 children to their current capacity of 104 children. The daycare does not have room to expand in their current facility (Oak Forest Business Park) in terms of allowing caring for additional children and playground space. The daycare facility currently is located within a multi-tenant building where they share parking with other businesses throughout the day. According to the applicant, of the 35 employees with the business approximately 30 of the staff arrive in personal vehicles and are on-site between 9:00AM and 3:00PM. The majority of the families do drop-off and pick-up between 6:30AM – 8:30AM and 4:45PM-5:00PM. According to the applicant, the maximum number of families for drop-off/pick-up has been twelve (12) vehicles at one time. There are 60 parking stalls serving the property in question.

Commercial daycare facilities are permitted only by Conditional Use Permit per Section 13-5-15 (c) and pursuant to standards set forth in Sections 13-8-11.

### Standards for Review:

The following decision criteria were used to review the submitted conditional use:

1. Compatibility. The property is located on the western side of 12<sup>th</sup> Avenue South and is zoned Light Industrial (M-1). Section 13-5-15 (c) of the City's Code of Ordinances conditionally permits children's nurseries and/or daycare centers provide all principal structures and uses have at least a six (6) foot side yard setback. The existing building in question has an approximate 15 foot side yard setback to the north, approximate 85 foot yard setback from 12<sup>th</sup> Avenue South, 20 foot setback to the rear, and 90 foot setback to the south.

## CITY OF ONALASKA

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The zoning of land within 250 feet of the proposed site includes Light Industrial, Multi-Family Residential, Single Family and Duplex Residential, Single Family Residential, and Public and Semi-Public Districts. The uses within 500 feet along the same street of the proposed site include a combination of retail, dance studio, financial institution, restaurant, office, personal service establishments, and multi-family dwellings.

2. Consistency with Comprehensive Plan. The Comprehensive Plan identifies this area as a *Commercial District*. This district is intended to accommodate large and small-scale commercial and office development. A wide range of retail, service, lodging and office uses are appropriate in this district.
3. Importance of Services to the Community. According to the Comprehensive Plan, a Land Use Objective of the City states, “*promoting compatible infill development (infill development occurs on land that is under-developed or vacant lots in development areas) throughout the City...*” This property is located in a Commercial District and is offering a needed service to the greater Onalaska community.
4. Neighborhood Protections. Children’s Tree House Daycare is moving from its present location along Oak Forest Drive and obtaining a Conditional Use Permit will bring this property into compliance with the Unified Development Code. The building will be remodeled from the current use of a dance studio and will comply with all the requirements to become a licensed daycare.

### **Substantial Evidence Regarding Conditions of Approval:**

1. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.

**Substantial Evidence:** This condition provides notice to the owner/developer that they are to follow procedure for orderly development in the City of Onalaska in order to promote the health, safety and welfare of the City.

2. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns so long as the conditional use is being actively used.

**Substantial Evidence:** This condition acknowledges and provides public notice of the term and puts the owner/developer and future owners on notice that they are bound by the conditions and that they can continue the use as long as they follow the conditions and actively use the conditional use.

3. Owner/developer from abiding by the City’s Ordinances, Unified Development Code and Building Code requirements, as amended.

**Substantial Evidence:** This conditions assures owner/developer understands they must follow the City’s Unified Development Code and Building Code which they are required to follow any way and that as they are receiving the benefit of being allowed to have a use that is not within the standards of the City’s zoning code, failure to follow City ordinances may result in loss of their conditional use permit.

## *CITY OF ONALASKA*

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4. The Conditional Use Permit shall be reviewed every five (5) years to ensure continued use.

**Substantial Evidence:** This shifts the burden to the owner of the property to provide proof that the use is active and continuing. Ensuring that existing permits are still valid and being properly used ensures compliance with the City's procedures and ordinances and promotes interaction and communication with the City which further orderly development and the health, safety and welfare of the City.

**Action Requested:**

As a public hearing will be held, testimony from the public should be listened to and considered before deciding on the requested Conditional Use Permit application.

# REQUEST FOR ACTION & POSSIBLE CONSIDERATION BY PLAN COMMISSION:

April 24, 2018

## Agenda Item 6:

Public Hearing & Consideration of a Conditional Use Permit application to allow the operation of a child care center at 980 12th Avenue South, Onalaska, WI 54650 submitted by Mitch Lown of Ironside Properties, LLC, 1220 Oak Forest Drive, Onalaska, WI 54650, Tax Parcel # 18-3131-2.

1. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.  
**UPDATED CONDITION**
2. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns so long as the conditional use is being actively used.  
**UPDATED CONDITION**
3. Owner/developer from abiding by the City's Ordinances, Unified Development Code and Building Code requirements, as amended. **UPDATED CONDITION**
4. The Conditional Use Permit shall be reviewed every five (5) years to ensure continued use.  
**UPDATED CONDITION**

## **Cover Letter**

### **Ironside Properties Site Plan Review Request**

**Proposed Development For 984 12<sup>th</sup> Avenue South Onalaska, Wi 54650**

**Owner: Ironside Properties (Mitchell and Misty Lown**

**Tenant: Children's Tree House Day Care Center**

**Builder: Borton Construction**

**Architect: Dave Yellick**

Tentatively the plan is to break ground on May 15<sup>th</sup>. Project Completion to occur October 1<sup>st</sup>. The building will be a single story with partial basement. Square footage will be 10,576 square feet.

Ironside Properties will be owning the building and Ironside Properties also owns Misty's Dance Unlimited. Both facilities are geared toward children and families. It is our intention to have a beautiful building with landscaping to enhance the site. The building will also have a partial brick and smart board siding. It is also being planned and discussed with Jarod Holter the widening of the existing curb cut that rests on the property line between this property and the Family Video/Curves building.

Thank you For your time and consideration in the site plan review.



# CONDITIONAL USE PERMIT APPLICATION

The following checklist will ensure the timely processing of your permit:

➔ Overview/ Cover Letter Describing the following:

- ▶ Detailed Description of Proposed Conditional Use
- ▶ Description of how Proposed Conditional Use Meets Unified Development Ordinance Standards (use form on next page or attach an explanation each of the following:):
  - ▶ Compatibility with Surrounding Neighborhood (existing and anticipated development within 250 ft of proposed use and within 500 ft along the same street)
  - ▶ Consistency with the Comprehensive Plan (relationship of proposed use to the goals, objectives and polices)
  - ▶ Importance of Services to the Community (provided by the proposed use)
  - ▶ Neighborhood Protections (avoidance of negative impacts)
  - ▶ Other Factors (pertinent to the proposed use)

➔ Site Sketch and Photographs (if applicable)

➔ \$250 Permit Application Fee (Payable to the City of Onalaska)

*If incomplete, no further processing of the application will occur until the deficiencies are corrected.*

*A Conditional Use is a land use or development that would not generally be appropriate within a district but might be allowed in certain locations within the district if specific requirements are met. The compatibility must be judged on the basis of the particular circumstances and may require additional conditions set by the Plan Commission & Common Council before development or occupancy is permitted. The intent is to allow a reasonable degree of discretion in determining the suitability of a particular development at a specific location.*

Application for:

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Fence           | <input type="checkbox"/> Two Structures on one parcel | <input type="checkbox"/> Parking Lot                   |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Automotive Repair / Sales    | <input checked="" type="checkbox"/> Use <u>Daycare</u> |
| <input type="checkbox"/> Bed & Breakfast | <input type="checkbox"/> Warehousing / Storage        | <input type="checkbox"/> Other _____                   |

Brief Description of Proposed Conditional Use:

Children's tree house Daycare intends to move and occupy the current Misty Dance Unlimited Building

*Proposed conditional use must meet the requirements of the Unified Development Ordinance. Per Wisconsin's Open Meeting Law, comments on this permit application, either by the applicant or concerned citizen, shall be raised in person at the scheduled meeting or brought up to City Staff (through conversation, written letter or email) for review at the scheduled meeting. Due to Wisconsin's Open Meeting Law, Plan Commissioners and Councilors are unable to discuss this matter outside of a scheduled public meeting. Thank you.*

0.00 CHANGE  
 -----  
 250.00 TENDERED  
 250.00 APPLIED  
 -----  
 CK 250.00 REF:AB - 6132  
 Paid By: IRONSIDE PROPERTIES LLC  
 18-3131-2/980 12TH AVE SOUTH 250.00  
 =====  
 TRF#: 450 PLANNING & ZONING  
 REC#: R00106817 03/19/2018 11:57 AM  
 OPER: 01 TERM: 1  
 TRF#: 450 PLANNING & ZONING  
 TXBY: CASH 01



### CONDITIONAL USE PERMIT APPLICATION

Property Address: 980 12th Ave South  
 Parcel Number: 18-3131-2  
 Zoning District: Commercial

Applicant: Ironside Properties  
 Contact: Mitchell Lown  
 Mailing Address: 1220 Oak Forest Dr.  
 City, State, Zip: Onalaska, WI 54650  
 Phone Number: 608 769 4635  
 Email: Lowntown@gmail.com  Primary Contact

Business: Children's Tree House  
 Owner/Contact: Natasha Remis  
 Mailing Address: 1052 Oak Forest Dr Suite 100  
 City, State, Zip: Onalaska  
 Phone Number: 608 386-0530  
 Email: natasha.remis1@gmail.com  Primary Contact

Property Owner: Ironside Properties  
 Contact: Mitch Lown  
 Mailing Address: 1220 Oak Forest Dr.  
 City, State, Zip: Onalaska, WI 54650  
 Phone Number: 608 769-4635  
 Email: Lowntown@gmail.com  Primary Contact

The undersigned hereby makes application at the location stated herein. Ther undersigned agrees that all work shall be done in accordance with the requirements of the City of Onalaska Unified Development Code / Zoning Ordinance and with all other applicable City Ordinances and the laws and regulations of the State of Wisconsin.

Signature of Applicant: *Mitchell Lown*

Date: 3/19/18

Signature of Property Owner: *Mitchell Lown*

Date: 3/19/18

Compatibility with Surrounding Neighborhood: Yes Family Orientated area

Consistency with the Comprehensive Plan: Yes

Importance of Services to the Community: Daycare

Neighborhood Protections (avoidance of negative externalities): OK

Other Factors (pertinent to the proposed use): OK

OFFICE USE ONLY:	Date Submitted:	Permit Number:
Permit Fee:	<input type="checkbox"/> Cash <input type="checkbox"/> Check #	Application Received by:

**NOTICE OF PUBLIC HEARING  
BEFORE THE CITY OF ONALASKA**

Please take notice that the City Plan Commission for the City of Onalaska will hold a public hearing on

**TUESDAY, APRIL 24, 2018  
APPROX. 7:10 P.M.  
(or immediately following public hearing at 7:00 PM)**

in Onalaska City Hall, 415 Main Street, Onalaska, Wisconsin 54650 at which time they will consider an application submitted by Mitch Lown of Ironside Properties, 1220 Oak Forest Dr., Onalaska, WI 54650 for review and consideration of request for a Conditional Use Permit (CUP) to allow the operation of a child care center at 980 12<sup>th</sup> Avenue South, Onalaska, WI 54650.

Property is more particularly described as:

Computer Number: **18-3131-2**

Section 09, Township 16, Range 07

CERTIFIED SURVEY MAP NO. 61 VOL 13 LOT 1 DOC NO. 1467382

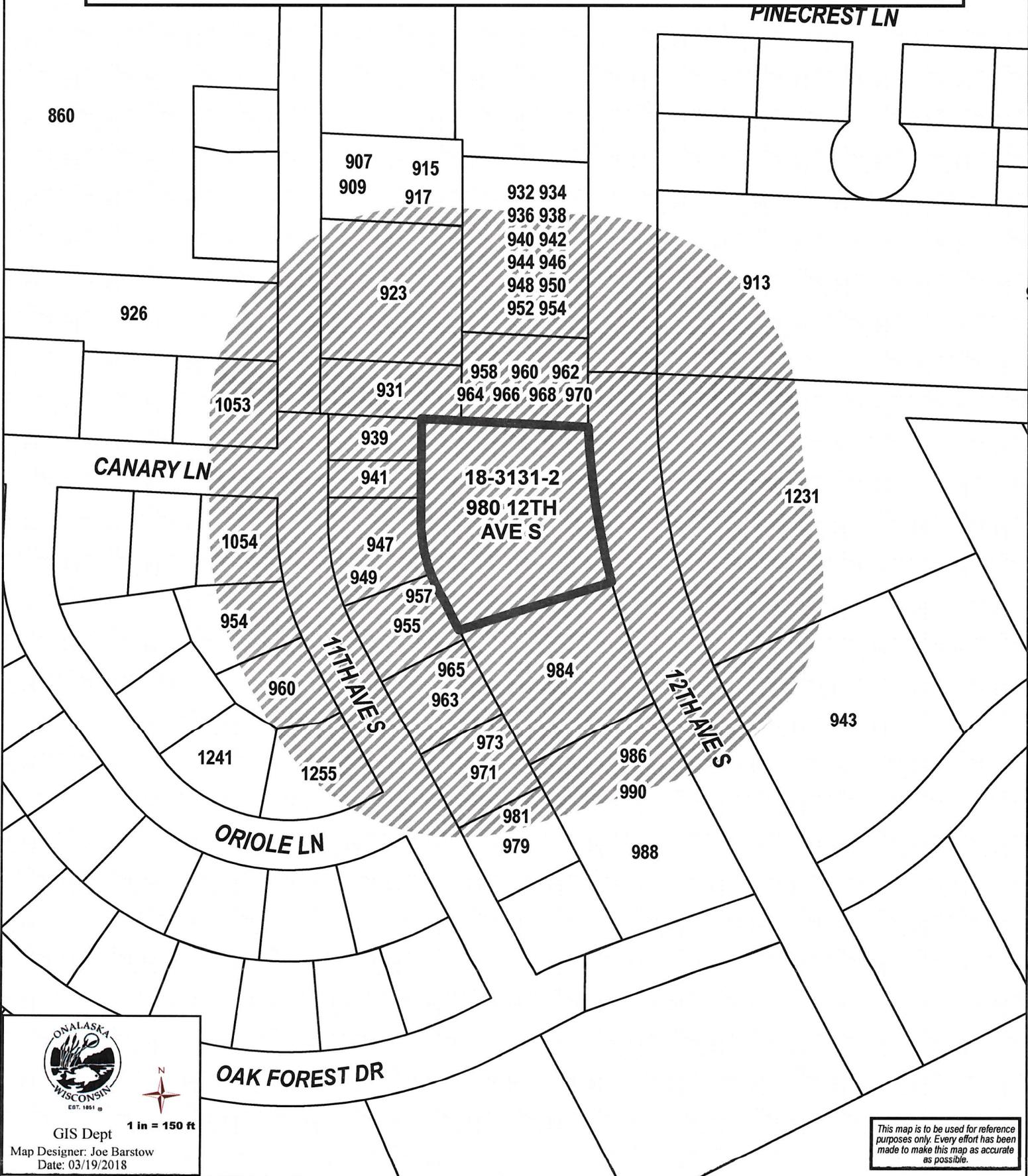
YOU ARE FURTHER NOTIFIED that the City of Onalaska Plan Commission will hear all persons interested, their agent or attorney concerning this matter.

More detailed information on this item will be posted to the City of Onalaska website [www.cityofonalaska.com](http://www.cityofonalaska.com) the Friday before the scheduled meeting under Agendas & Minutes/Plan Commission. This posting will contain the Plan Commission Agenda and all attachments referencing this item.

Dated this 6<sup>th</sup> day of April, 2018.

Cari Burmaster  
City Clerk

# PROPERTIES WITHIN 250FT OF PARCEL: 18-3131-2



1 in = 150 ft

GIS Dept

Map Designer: Joe Barstow  
Date: 03/19/2018

This map is to be used for reference purposes only. Every effort has been made to make this map as accurate as possible.



# CITY OF ONALASKA

Agenda Item:

# 7

## STAFF REPORT

Plan Commission – April 24, 2018

Agenda Item: Public Hearing & Consideration of a Conditional Use Permit request to allow dealership facility for vehicle sales/repairs.

Applicant: Paul Borsheim of Borton Construction, INC  
2 Copeland Avenue, Suite 201, La Crosse, WI 54601

Property Owner: Marvin Wanders of Stizo Development, LLC  
PO Box 609, La Crosse, WI 5462-0609

Parcel Number: 18-3627-2

Site Location: 207 Marcou Road, Onalaska, WI 54650

Existing Zoning: Light Industrial (M-1) District

### Background:

The applicant is requesting a Conditional Use Permit to construct a new Honda Motorwerks Dealership to be located at 207 Marcou Road in Onalaska. The proposed development includes an approximate 19,600 square foot facility and will sell both new and used vehicles. The service area will have a combination of full and quick services lanes, alignment bay, and a detail area. The timeline for construction is to begin in mid-June 2018 with completion by December 2018. The sale of vehicles, vehicle repairs, etc. on a parcel in the Light Industrial (M-1) District is permitted only by Conditional Use Permit per Section 13-5-16 (g) and pursuant to standards set forth in Sections 13-8-11.

### Standards for Review:

The following decision criteria were used to review the submitted conditional use:

1. Compatibility. The zoning of land within 250 feet of the proposed site includes Multi-Family Residential, Public and Semi-Public, and Light Industrial. Uses within 500 feet along the same street of the proposed site include financial institutions, condominiums, golf course, grocery store, and a mixed-use facility with a restaurant use and personal service businesses. This is the last commercial site in this area.
2. Consistency with Comprehensive Plan. The Comprehensive Plan identifies this area as *Commercial*. This district is intended to accommodate large and small scale commercial and office development. A wide range of retail, service, lodging, and office uses are appropriate in this district.
3. Importance of Services to the Community. According to the Comprehensive Plan, an Economic Development Objective of the City states, “*by attracting firms that complement existing industries and increase business for established companies.*” This request is proposed to complement the other dealerships in Onalaska and may complement existing retail in the area. The business owner is actively attempting to get closer to customers in the Onalaska and West Salem markets.

## CITY OF ONALASKA

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4. Neighborhood Protections. The applicant will be required to submit a full site plan set for review and approval to ensure compatibility with the Unified Development Code (lighting, signage, buffers, setbacks, architecture, etc.). The property owner intends to install a vegetated buffer similar to the adjoining property (Associated Bank) and notes an existing sizable berm that would separate the dealership from the Country Club Golf Course. The proposed project of allowing the sale of vehicles on a parcel that currently allows the repair of vehicles should not cause any negative consequences to the neighborhood area.

### **Substantial Evidence Regarding Conditions of Approval:**

1. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.

**Substantial Evidence:** This condition provides notice to the owner/developer that they are to follow procedure for orderly development in the City of Onalaska in order to promote the health, safety and welfare of the City.

2. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns so long as the conditional use is being actively used.

**Substantial Evidence:** This condition acknowledges and provides public notice of the term and puts the owner/developer and future owners on notice that they are bound by the conditions and that they can continue the use as long as they follow the conditions and actively use the conditional use.

3. Owner/developer from abiding by the City's Ordinances, Unified Development Code and Building Code requirements, as amended.

**Substantial Evidence:** This conditions assures owner/developer understands they must follow the City's Unified Development Code and Building Code which they are required to follow any way and that as they are receiving the benefit of being allowed to have a use that is not within the standards of the City's zoning code, failure to follow City ordinances may result in loss of their conditional use permit.

4. The Conditional Use Permit shall be reviewed every five (5) years to ensure continued use.

**Substantial Evidence:** This shifts the burden to the owner of the property to provide proof that the use is active and continuing. Ensuring that existing permits are still valid and being properly used ensures compliance with the City's procedures and ordinances and promotes interaction and communication with the City which further orderly development and the health, safety and welfare of the City.

### **Action Requested:**

As a public hearing will be held, testimony from the public should be listened to and considered before deciding on the requested Conditional Use Permit application.

# REQUEST FOR ACTION & POSSIBLE CONSIDERATION BY PLAN COMMISSION:

April 24, 2018

## Agenda Item 7:

**Public Hearing and Consideration of a Conditional Use Permit application to allow the construction of a automotive dealership/vehicle sales/repairs facility at 207 Marcou Road, Onalaska, WI 54650 submitted by Paul Borsheim of Borton Construction, Inc., 2 Copeland Avenue, Suite 201, La Crosse, WI 54601 on behalf of Marvin Wanders of Stizo Development, LLC., PO Box 609, La Crosse, WI 54602-0609 (Tax Parcel #18-3627-2).**

1. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.

**UPDATED CONDITION**

2. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns so long as the conditional use is being actively used.

**UPDATED CONDITION**

3. Owner/developer from abiding by the City's Ordinances, Unified Development Code and Building Code requirements, as amended. **UPDATED CONDITION**

4. The Conditional Use Permit shall be reviewed every five (5) years to ensure continued use.

**UPDATED CONDITION**

March 28, 2018

City of Onalaska  
Department of Planning and Zoning – Ms. Katie Aspenson  
415 Main St.  
Onalaska, WI 54650

Dear Katie,

On behalf of Honda Motorwerks and Stizo Development LLC we are pleased to submit our conditional use permit application for a new Honda Dealership to be located at 207 Marcou Road. The dealership will sell new and used cars. The service area will be a combination of full and quick service lanes, alignment bay, and detail area. The building is currently designed to be approximately 19,600 square feet. The plan is to start construction in mid June with completion by the end of November.

We are asking for a conditional use permit as the site is currently zoned M-1 Light Industrial District. The zoning does allow a conditional use under section 13-5-17 Highway- Oriented Conditional uses for vehicle sales and repairs. The Honda dealership would be visible from Hwy 90 and Hwy 16 with access from the off ramp within a block.

The relocation of Honda Motorwerks is driven by the owner trying to get closer to his customers and trying to expand his new car sales. The proximity to multiple car dealerships in the Onalaska and West Salem markets is an added feature of this site.

As this is the last commercial lot in this neighborhood we want to be aware and sensitive to the surrounding businesses and residential properties. Therefore we'll install a landscaping buffer on Marcou Road similar to what has been constructed at Associated Bank. In addition, there is already a sizeable berm separating this site with the La Crosse Country Club. The main visibility will be towards Woodman's and Associated Bank. Finally, we'll install site lighting consistent with City standards to shield the site lighting from spilling over the property lines.

We'll submit the site plans for your review for the April 10<sup>th</sup> meeting soon. Thank you for your time and we look forward to taking the next steps with the City of Onalaska to make this project a reality.

Sincerely,

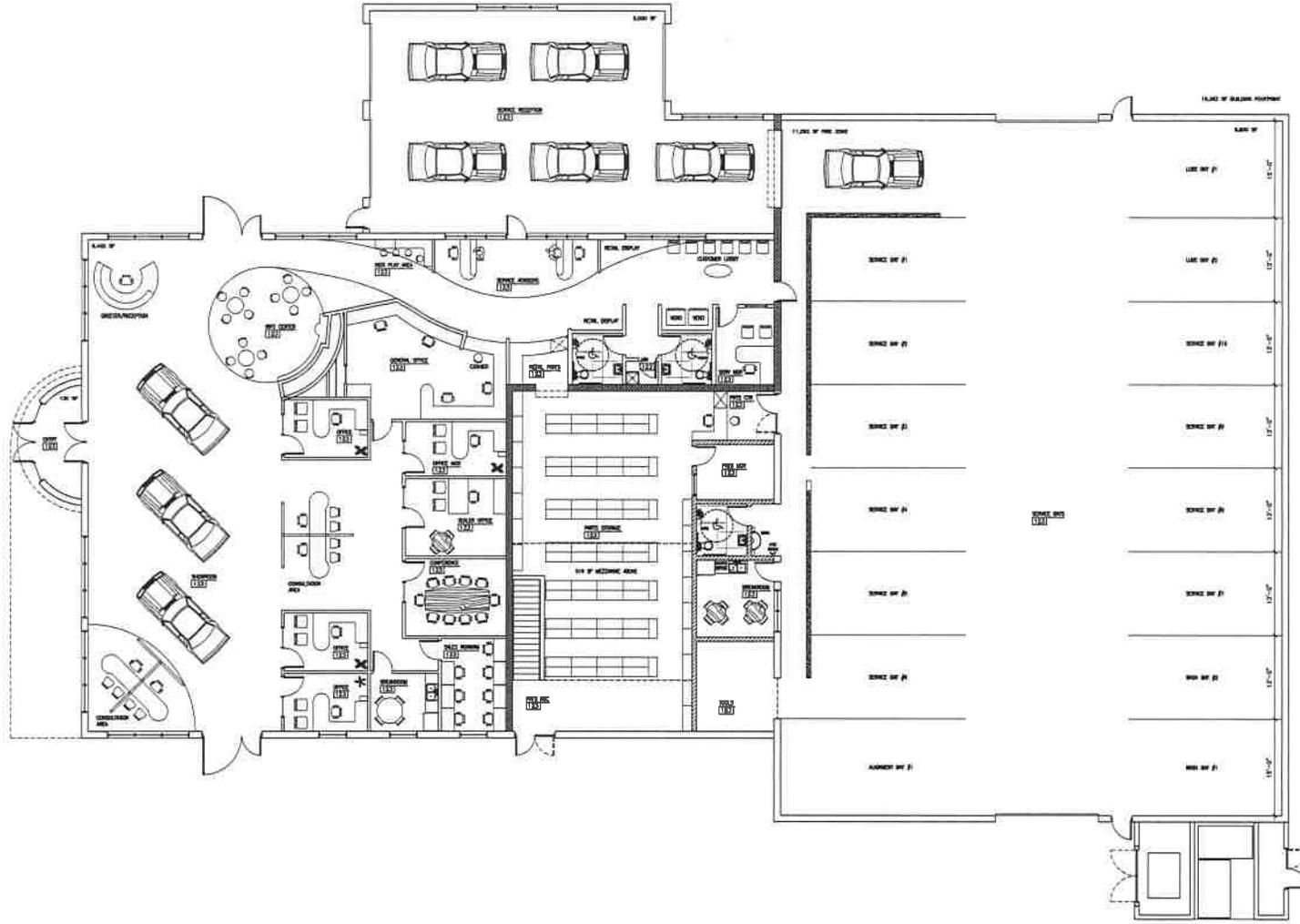


Paul Borsheim

Stizo Development, LLC







**1 FLOOR PLAN**  
 1/8" = 1'-0"

CONSTRUCTION  
 EXPRESS INC  
 411 LA CROSSE STREET  
 LA CROSSE, WI 54601  
 (920) 794-6280

HONDA MOTORWORKS  
 207 MARCOU ROAD  
 ONALSKA, WI 54650

REVISIONS

NO.	DATE	DESCRIPTION

JOB # 18004

APR 3, 2018

REVISIONS

PLOT 1/8" = 1'-0"

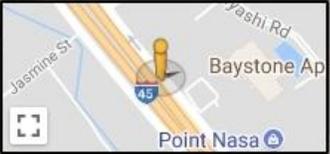
FLOOR PLAN

**A100**

Gulf Fwy  
Webster, Texas

Google, Inc.

Street View - Sep 2017



Google

**Stevens Point Honda**  
Wesley Wahlberg  
Photo - Nov 2014



due Wed. 5pm  
Honda



City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

### CONDITIONAL USE PERMIT APPLICATION

The following checklist will ensure the timely processing of your permit:

➔ Overview/ Cover Letter Describing the following:

- ▶ Detailed Description of Proposed Conditional Use
- ▶ Description of how Proposed Conditional Use Meets Unified Development Ordinance Standards (use form on next page or attach an explanation each of the following:)
  - ▶ Compatibility with Surrounding Neighborhood (existing and anticipated development within 250 ft of proposed use and within 500 ft along the same street)
  - ▶ Consistency with the Comprehensive Plan (relationship of proposed use to the goals, objectives and polices)
  - ▶ Importance of Services to the Community (provided by the proposed use)
  - ▶ Neighborhood Protections (avoidance of negative impacts)
  - ▶ Other Factors (pertinent to the proposed use)

➔ Site Sketch and Photographs (if applicable)

➔ \$250 Permit Application Fee (Payable to the City of Onalaska) ★

*If incomplete, no further processing of the application will occur until the deficiencies are corrected.*

*A Conditional Use is a land use or development that would not generally be appropriate within a district but might be allowed in certain locations within the district if specific requirements are met. The compatibility must be judged on the basis of the particular circumstances and may require additional conditions set by the Plan Commission & Common Council before development or occupancy is permitted. The intent is to allow a reasonable degree of discretion in determining the suitability of a particular development at a specific location.*

Application for:

- |  |   |                                      |
|--|---|--------------------------------------|
| <input type="checkbox"/> Fence           | <input type="checkbox"/> Two Structures on one parcel         | <input type="checkbox"/> Parking Lot |
| <input type="checkbox"/> Home Occupation | <input checked="" type="checkbox"/> Automotive Repair / Sales | <input type="checkbox"/> Use _____   |
| <input type="checkbox"/> Bed & Breakfast | <input type="checkbox"/> Warehousing / Storage                | <input type="checkbox"/> Other _____ |

Brief Description of Proposed Conditional Use:

*New car dealership for Honda Motorworks. Sales will be new + used cars along with full + quick lane service.*

*Proposed conditional use must meet the requirements of the Unified Development Ordinance. Per Wisconsin's Open Meeting Law, comments on this permit application, either by the applicant or concerned citizen, shall be raised in person at the scheduled meeting or brought up to City Staff (through conversation, written letter or email) for review at the scheduled meeting. Due to Wisconsin's Open Meeting Law, Plan Commissioners and Councilors are unable to discuss this matter outside of a scheduled public meeting. Thank you.*

APPLIED 250.00  
TENDERED 250.00

PAID BY: BORTON CONSTRUCTION INC  
CK 250.00 REF: SW - 3017  
18-3627-2 / 207 MARCOU RD 250.00

CITY OF ONALASKA  
REC#: R00108003 03/28/2018 4:58 PM  
TRAN: 450 PLANNING & ZONING  
OPER: 01 TERM: 1  
TKBY: CASH 01



City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

### CONDITIONAL USE PERMIT APPLICATION

**Property Address:**  
207 Maccou Road

**Parcel Number:**  
18- 3627-2

**Zoning District:**

**Applicant:** Barton Construction, Inc

**Contact:** Paul Borsheim

**Mailing Address:** 2 Copeland Ave Suite 201

**City, State, Zip:** LaCrosse, WI 54601

**Phone Number:** 608-779-0400

**Email:** Paul.Borsheim@BartonConstruction.com  Primary Contact

**Business:** Honda Motorworks

**Owner/Contact:** Chris Schneider

**Mailing Address:** 500 4th St. S.

**City, State, Zip:** LaCrosse, WI 54601

**Phone Number:** 608-784-6433

**Email:** CSchneider@HondaMotorworks.com  Primary Contact

**Property Owner:** Stizo Development, LLC

**Contact:** Marvin Wanders

**Mailing Address:** PO Box 609

**City, State, Zip:** LaCrosse, WI 54601

**Phone Number:** 608-783-7363

**Email:** Marvin@Threesixtybz.com  Primary Contact

The undersigned hereby makes application at the location stated herein. The undersigned agrees that all work shall be done in accordance with the requirements of the City of Onalaska Unified Development Code / Zoning Ordinance and with all other applicable City Ordinances and the laws and regulations of the State of Wisconsin.

**Signature of Applicant:** Paul Borsheim **Date:** 3-27-18

**Signature of Property Owner:** Paul Stizo Sr. VP of the Co. **Date:** 3/27/18

**Compatibility with Surrounding Neighborhood:**  
This is the last commercial lot in this neighborhood. There is substantial Retail ADJACENT AND IN CLOSE PROXIMITY to this property.

**Consistency with the Comprehensive Plan:**  
The site is currently M-1 Light Industrial District. The ZONING DOES ALLOW A Conditional use under Sec 13-5-17 Highway-Oriented Conditional uses For Vehicle Sales AND Repairs. The Honda Dealership would be visible from Hwy 90 AND within A block of the off Ramp.

**Importance of Services to the Community:**  
The Relocation of Honda Motorworks is Driven by the owner trying to get closer to his customers along with the proximity to A cluster of Dealerships in the ONALASKA AND West SALEM MARKETS.

**Neighborhood Protections (avoidance of negative externalities):**  
We will be installing LANDSCAPING SIMILAR to Associated Bank along Maccou Road. In Addition there is ALREADY A sizeable berm separating this site from the Country Club. Site lighting will be shielded to not spill over the property lines.

**Other Factors (pertinent to the proposed use):**

<b>OFFICE USE ONLY:</b>	<b>Date Submitted:</b>	<b>Permit Number:</b>
<b>Permit Fee:</b>	<input type="checkbox"/> Cash <input type="checkbox"/> Check #	<b>Application Received by:</b>

**NOTICE OF PUBLIC HEARING  
BEFORE THE CITY OF ONALASKA**

Please take notice that the City Plan Commission for the City of Onalaska will hold a public hearing on

**TUESDAY, APRIL 24, 2018  
APPROX. 7:20 P.M.  
(or immediately following public hearing at 7:10 PM)**

in Onalaska City Hall, 415 Main Street, Onalaska, Wisconsin 54650 at which time they will consider an application submitted by Paul Borsheim of Borton Construction, Inc., 2 Copeland Avenue, Suite 201, La Crosse, WI 54601 on behalf of Marvin Wanders of Stizo Development, LLC., PO Box 609, La Crosse, WI 54602-0609 for review and consideration of request for a Conditional Use Permit (CUP) for the purpose of allowing vehicle sales/repairs at the property located at 207 Marcou Road, Onalaska, WI 54650.

Property is more particularly described as:

Computer Number: **18-3627-2**  
Section 11, Township 16, Range 07

CERTIFIED SURVEY MAP NO. 44 VOL 16 LOT 4 DOC NO. 1646629 SUBJ TO  
RESTR IN DOC NO. 1644763 & SUBJ TO ESMTS AS SHOWN ON CSM DOC NO.  
1646629 & SUBJ TO RESTR IN DOC NO. 1646694 & T/W & SUBJ TO ESMT IN  
DOC NO. 1647662

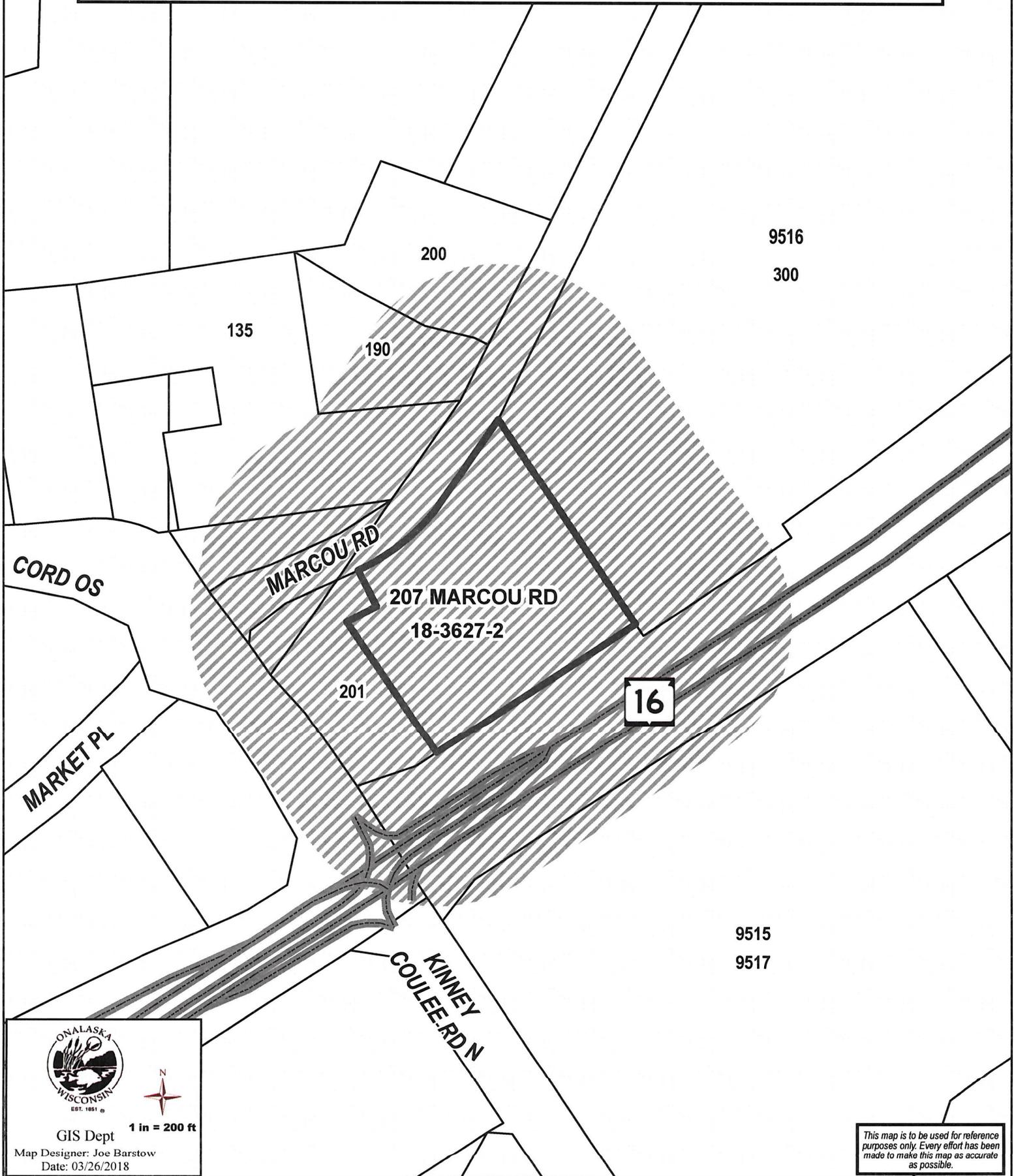
YOU ARE FURTHER NOTIFIED that the City of Onalaska Plan Commission will hear all persons interested their agent or attorney concerning this matter.

More detailed information on this item will be posted to the City of Onalaska website [www.cityofonalaska.com](http://www.cityofonalaska.com) the Friday before the scheduled meeting under Agendas & Minutes/Plan Commission. This posting will contain the Plan Commission Agenda and all attachments referencing this item.

Dated this 6<sup>th</sup> day of April, 2018.

Cari Burmaster  
City Clerk

# PROPERTIES WITHIN 250FT OF PARCEL: 18-3627-2



1 in = 200 ft

GIS Dept

Map Designer: Joe Barstow  
Date: 03/26/2018

*This map is to be used for reference purposes only. Every effort has been made to make this map as accurate as possible.*



# CITY OF ONALASKA

Agenda Item:

# 8

## STAFF REPORT

Plan Commission – April 24, 2018

- Agenda Item: Public Hearing & Consideration of a rezoning request.
- Applicant/Owner: Terry Weiland, 600 L Hauser Road, Onalaska, WI 54650
- Parcel Number: 18-4511-301
- Site Location: 2201 Abbey Road, Onalaska, WI 54650
- Existing Zoning: Single Family Residential (R-1) District
- Neighborhood Characteristics: Properties within 250 feet of the properties in question includes a variety of residential dwellings (single family homes in the Town of Onalaska), attached townhomes, apartment buildings, and mini-storage warehouses.
- Conformance with Land Use Plan: The Comprehensive Plan identifies this area as *Mixed Density Residential*. This district is intended for residential units. Higher density residential development may be appropriate in locations adjacent to transportation corridors, commercial areas, and schools.
- Background: The applicant is the owner of the property and intends to construct a four-unit townhome/row house development on the northern portion of the property. Potentially, in the future additional development may occur on this parcel and at that time, additional zoning permits (as needed) will be obtained by the owner. Such developments may include further subdividing the parcel to allow for two (2) twindo parcels and another parcel with a five-unit townhome/row house.
- The property owner will be required to obtain a Site Plan Permit and comply with the Unified Development Code (landscaping, parking, green space requirements, setbacks, etc.) and obtain all required permits from other relevant state agencies prior to construction activities.
- Action Requested: As a public hearing will be held, testimony from the public should be listened to and considered before deciding on the requested rezoning application.

# REQUEST FOR ACTION & POSSIBLE CONSIDERATION BY PLAN COMMISSION:

April 24, 2018

## Agenda Item 8:

Public Hearing and Consideration of a Rezoning application filed by Terry Weiland, 600 L Hauser Road, Onalaska, WI 54650 to rezone a parcel at 2201 Abbey Road, Onalaska, WI 54650, from Single Family Residential (R-1) District to Multi-Family Residential (R-4) District for the purpose of constructing a four (4) unit townhome/row house (Tax Parcel #18-4511-301).

1. Rezoning Fee of \$300.00 (PAID).
2. A Park Fee of \$922.21 per unit x 4 units = \$3,688.84 dollars to be paid to the City prior to obtaining a Building Permit.
3. Payment of East Avenue North Sanitary Sewer Fee: \$1,140.00 per acre \* 2.35 acres = \$2,679.00 dollars to the City prior to obtaining a Building Permit.
4. Topography Map Fee: \$10.00 per acre \* 2.35 acres = \$23.50 dollars to the City prior to obtaining a Building Permit.
5. Street right-of-way for a future street must be dedicated along south parcel line or owner/developer to work with City for dedication of street right-of-way in a new location. Future street must be installed to City standards. – **NEW CONDITION**
6. Landscaping screening required along the northern boundary to screen residential dwellings through the use of evergreens, deciduous material, fencing or an action similar in nature. Plant names and sizes to be indicated on a landscaping plan. Plant screening shall be sufficient to provide year-round screening within three (3) years of installation and any plant material which does not live shall be replaced within six (6) months. Screening must effectively obscure view from adjacent residential areas. The minimum width of the screened area to the north shall be ten (10) feet. If fencing is to be used, owner/developer shall submit fence detail to Land Use Development Director for review and approval. – **NEW CONDITION**
7. One (1) tree per twenty-five (25) feet of street frontage required on the boulevard of all streets. Trees will be required to be planted prior to issuance of Occupancy Permit. Overall site landscaping to also include one (1) square foot of landscaping per ten (10) square feet of “parking area”. – **NEW CONDITION**
8. Outdoor lighting installations shall not be permitted closer than three (3) feet to an abutting property line and shall not exceed fifteen (15) feet in height and shall be adequately downcast, shielded and hooded so that no excessive glare or illumination is cast upon the adjoining properties. – **NEW CONDITION**
9. Exterior storage is prohibited.

10. Site Plan Permit required for new development in advance of building permit applications, including detailed architectural plans, landscape, drainage, erosion control, and other required information/plans (fire accessibility, hydrant locations, etc.). Any future improvements to these parcels may be subject to additional City permits (i.e., building permits).
11. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.
12. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns. The sale or transfer of all or any portion of the property does not relieve the original developer from payment of any fees imposed or from meeting any other conditions.
13. Any omissions of any conditions not listed in committee minutes shall not release the property owner/developer from abiding by the City's Unified Development Code requirements.



City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

## REZONING OR TEXT AMENDMENT APPLICATION

The following checklist will ensure the timely processing of your application:

➔ **Overview/ Cover Letter Describing the following:**

- ▶ Detailed Description of Proposed Rezoning or Text Amendment
- ▶ Description of how Proposed Rezoning Meets Unified Development Code Standards
  - ▶ Compatibility with Surrounding Neighborhood (existing and anticipated development within 250 ft of proposed use and within 500 ft along the same street)
  - ▶ Consistency with the Comprehensive Plan (relationship of proposed use to the goals, objectives and policies)

➔ **\$300 Permit Application Fee (Payable to the City of Onalaska)**

*If incomplete, no further processing of the application will occur until the deficiencies are corrected.*

*A Map or Text Amendment to the City of Onalaska Unified Development Code / Zoning Ordinance may be proposed at any time. Amendments to the Zoning District Map or Overlay District Map proposed by the public shall be initiated by submitting a completed application by owners of all parcels proposed to be rezoned. The application for amendments to the Text of the UDC / Zoning Ordinance shall include the text in question as well as proposed text.*

**Request for Amendment to:**

- Zoning District Map (Rezoning)**       **Zoning Ordinance (Text Amendment)**  
 **Zoning Overlay District Map (Rezoning)**

**Description of Request to Amend the Unified Development Code - Zoning Ordinance: (Text and/or Map(s)):**

Existing Zoning District: R-1 Proposed Zoning District: R-4

Rezone to construct a four-unit townhome/row house along Abbey Road.

*Per Wisconsin's Open Meeting Law, comments on this permit application, either by the applicant or concerned citizen, shall be raised in person at the scheduled meeting or brought up to City Staff (through conversation, written letter or email) for review at the scheduled meeting. Due to Wisconsin's Open Meeting Law, Plan Commissioners and Alderpersons are unable to discuss this matter outside of a scheduled public meeting. Thank you.*



City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

### REZONING OR TEXT AMENDMENT APPLICATION

**Property Address:**  
2201 Abbey Road

**Parcel Number:**  
18- 4511-301

**Zoning District:**  
R-1

**Applicant:** Terry Weiland

**Contact:**

**Mailing Address:** 6000 L Hausser Road

**City, State, Zip:** Onalaska, WI 54650

**Phone Number:**

**Email:**  Primary Contact

**Business:**

**Owner/Contact:**

**Mailing Address:**

**City, State, Zip:**

**Phone Number:**

**Email:**  Primary Contact

**Property Owner:** Same

**Contact:**

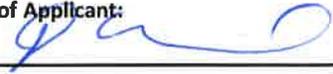
**Mailing Address:**

**City, State, Zip:**

**Phone Number:**

**Email:**  Primary Contact

*The undersigned hereby makes application at the location stated herein. Ther undersigned agrees that all work shall be done in accordance with the requirements of the City of Onalaska Unified Development Code / Zoning Ordinance and with all other applicable City Ordinances and the laws and regulations of the State of Wisconsin.*

**Signature of Applicant:**  **Date:** 3-29-18

**Signature of Property Owner:** \_\_\_\_\_ **Date:** \_\_\_\_\_

<b>OFFICE USE ONLY:</b>	<b>Date Submitted:</b> 3/29/18	<b>Permit Number:</b>
<b>Permit Fee:</b>	<input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check #	<b>Application Received by:</b> 

0.00 CHANGE

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300.00 TENDERED

300.00 APPLIED

-----

OK 300.00 REF:SW - 7097

Paid By: TERRY WEILAND CONSTRUCTION INC

18-4511-301 / 2201 ABBEY RD 300.00

=====

CITY OF ONALASKA

REC#: R00108040 03/29/2018 9:46 AM

TRAN: 450 PLANNING & ZONING

OPER: C1 TERM: 1

TKBY : CASH 01

ABBAY ROAD

STRAWBERRY COMMONS

205'  
1  
17,394  
SQ. FT.  
204'

2  
19,775  
SQ. FT.  
178'

Duplex  
Lot

HERITAGE DRIVE

144'  
3  
13,885  
SQ. FT.

Duplex  
Lot

102'

120'

4  
12,960  
SQ. FT.

UNPLATTED LAND

80' DAIRYLAND POWER

108'

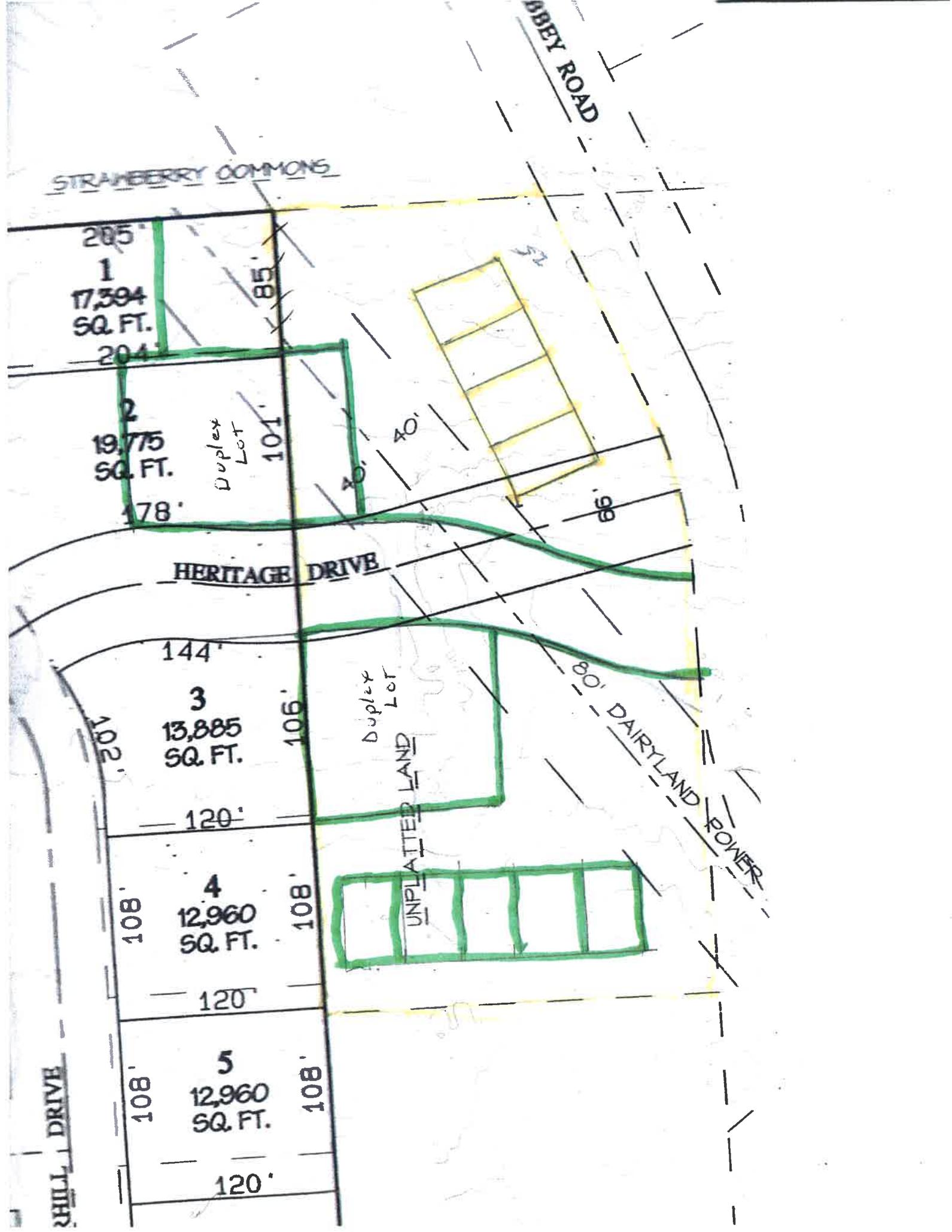
120'

5  
12,960  
SQ. FT.

108'

120'

SHILL DRIVE



**City of Onalaska, Wisconsin**

Planning/ Zoning  
Department



Map Designer: Katie Aspenson, AICP  
Date: 4/4/2018

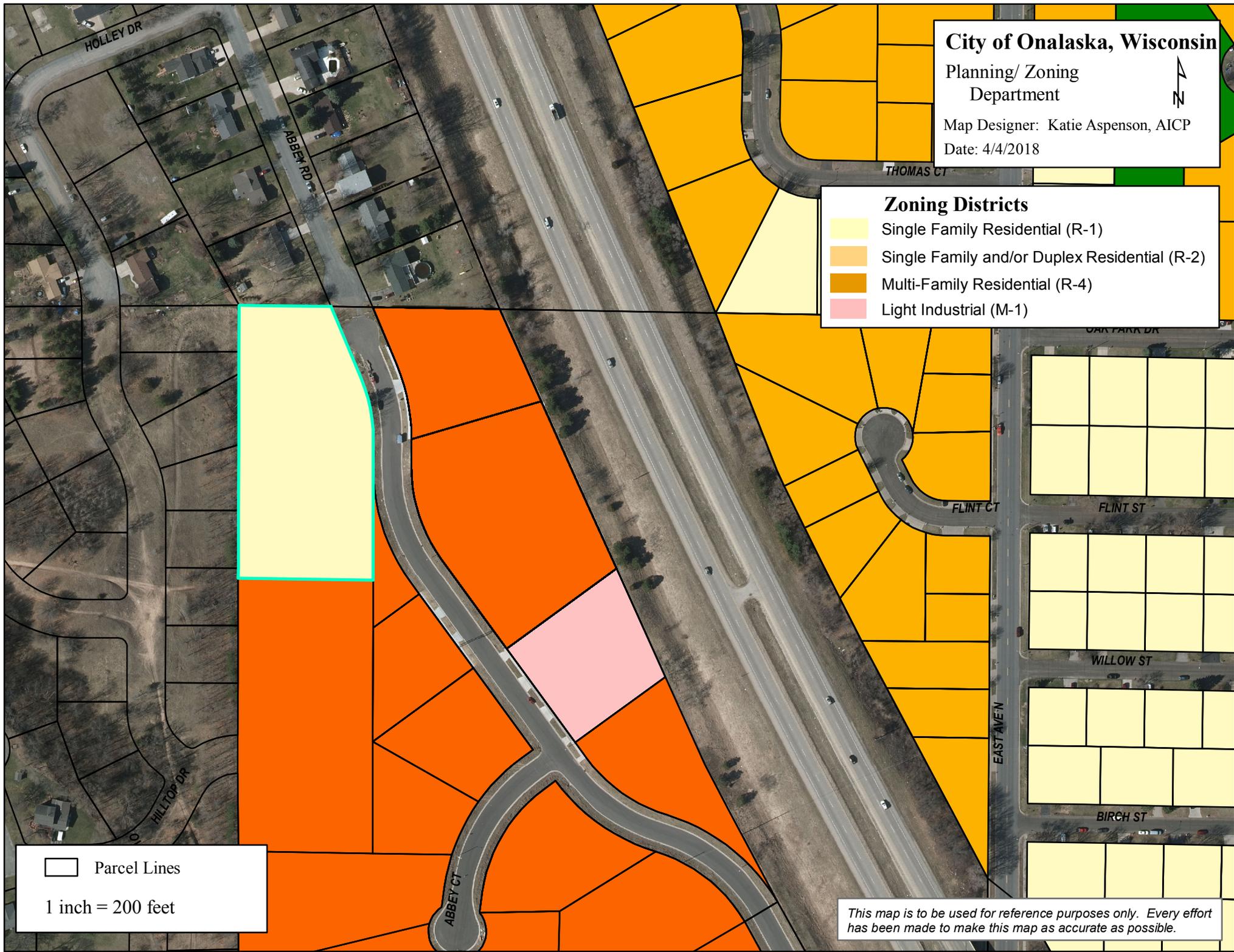
**Zoning Districts**

-  Single Family Residential (R-1)
-  Single Family and/or Duplex Residential (R-2)
-  Multi-Family Residential (R-4)
-  Light Industrial (M-1)

 Parcel Lines

1 inch = 200 feet

*This map is to be used for reference purposes only. Every effort has been made to make this map as accurate as possible.*



**PUBLIC HEARING NOTICE  
BEFORE THE CITY OF ONALASKA  
PLAN COMMISSION**

Please take notice that the City Plan Commission for the City of Onalaska will hold a public hearing on:

**TUESDAY, APRIL 24, 2018  
APPROX. 7:30 P.M.  
(or immediately following public hearing at 7:20PM)**

in Onalaska City Hall, 415 Main Street, Onalaska, WI 54650, at which time they shall consider an application filed by Terry Weiland, 600 L Hauser Road, Onalaska, WI 54650, who is requesting to rezone a parcel from R-1 (Single Family Residential District) to R-4 (Multi-Family Residential District) to facilitate the construction of a four unit townhome/rowhouse on the property located at 2201 Abbey Road, Onalaska, WI 54650.

Property is more particularly described as:

Computer Number: **18-4511-301**  
Section 29, Township 17, Range 07

N1/2 OF PRT SW-SE BEG NW COR S 940.5FT E 231FT N 940.5FT W 231FT  
TO POB EX CSM NO. 139 VOL 15 DOC NO. 1625124 SUBJ TO 10FT ESMT  
IN V837 P792

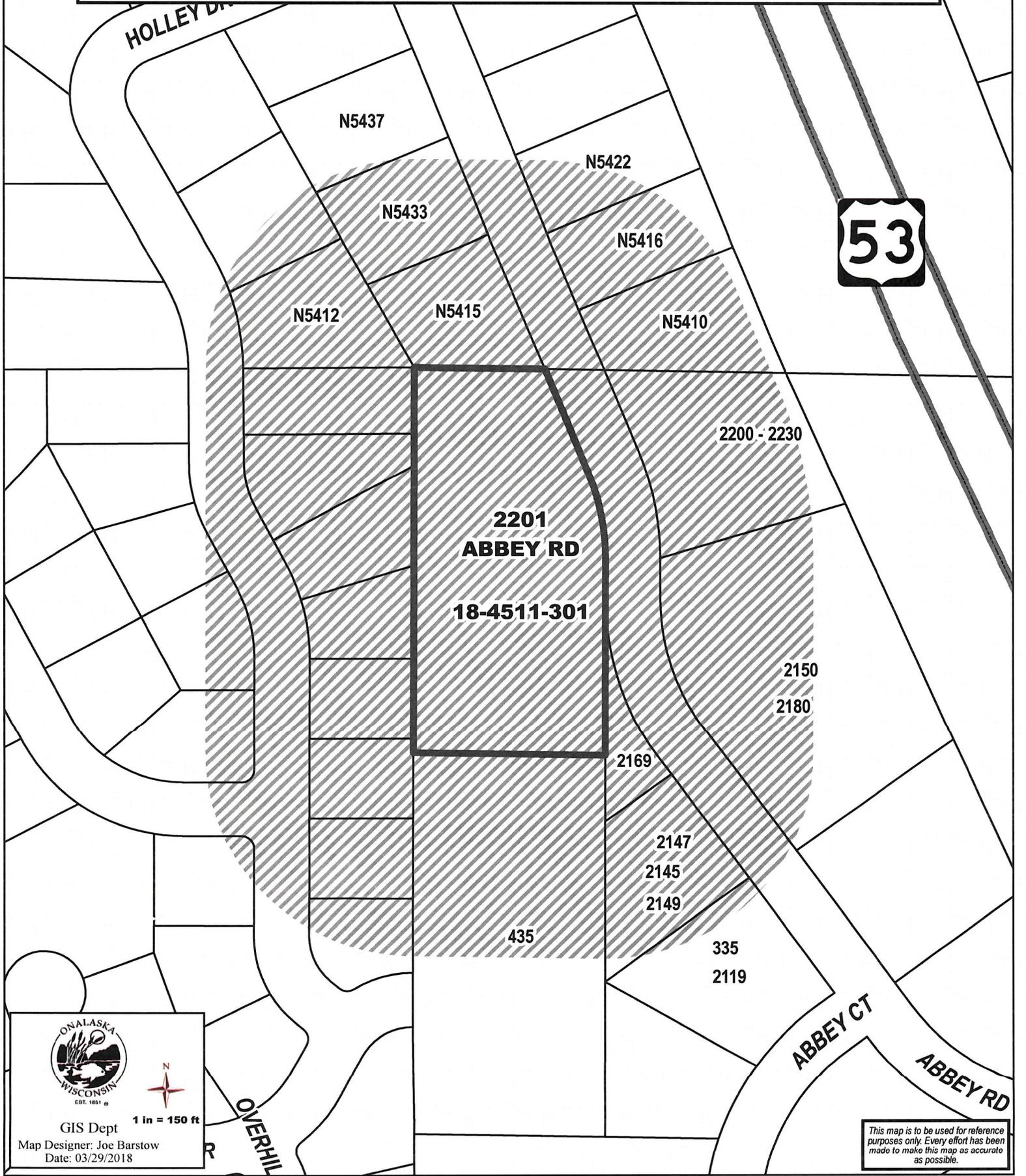
YOU ARE FURTHER NOTIFIED that the City of Onalaska Plan Commission will hear all persons interested, their agent or attorney, concerning this matter.

More detailed information on this item will be posted to the City of Onalaska website [www.cityofonalaska.com](http://www.cityofonalaska.com) the Friday before the scheduled meeting under Agendas & Minutes/Plan Commission. This posting will contain the Plan Commission Agenda and all attachments referencing this item.

Dated this 6th day of April, 2018.

Cari Burmaster  
City Clerk

# PROPERTIES WITHIN 250FT OF PARCEL: 18-4511-301



1 in = 150 ft

GIS Dept

Map Designer: Joe Barstow  
Date: 03/29/2018

*This map is to be used for reference purposes only. Every effort has been made to make this map as accurate as possible.*



# CITY OF ONALASKA

Agenda Item:

# 9

## STAFF REPORT

Plan Commission – April 24, 2018

- Agenda Item: Consideration of a Downton Planned Unit Development (D-PUD) request – Final Implementation Plan.
- Applicant: Jeffery Moorhouse, on behalf of Onalaska United Methodist Church, 212 4<sup>th</sup> Avenue North, Onalaska, WI 54650
- Property Owner: Onalaska United Methodist Church, 212 4<sup>th</sup> Avenue North, Onalaska, WI 54650
- Parcel Numbers: 18-229-0, 18-228-0, 18-233-0, 18-234-0, 18-232-0, & 18-231-0.
- Site Location: 212 4<sup>th</sup> Avenue North, 222 4<sup>th</sup> Avenue North, 412 Locust Street, 418 Locust Street, 213 5<sup>th</sup> Avenue North, 415 King Street, Onalaska, WI 54650
- Existing Zoning: Combination of Single Family Residential and Public & Semi-Public Districts
- Conformance with Comprehensive Plan: The Comprehensive Plan classifies these properties as “Downtown Mixed Use District” and “Institutional District” which are intended for a mixture of uses including residential, personal service, commercial, institutional and civic uses.

### Background:

This Downton Planned Unit Development (D-PUD) request is to facilitate a three-phase development to Onalaska United Methodist Church located at 212 4<sup>th</sup> Avenue North, Onalaska. The properties in question are all owned by the United Methodist Church and the alley that separates said parcels is in the process of being vacated and the land given to United Methodist Church. Phase 1 of the development includes providing better access to the facility with a covered canopy entrance, new vestibule, and bathrooms to serve guests. Phase 2 of the development moves the existing Fellowship Hall to the main floor to be on the same level as the Sanctuary, which allows for additional lower level entrance and classroom space. Phase 3 of the development includes repurposing the single family homes on their property. This Final Implementation Plan (FIP) will only be for Phases 1 & 2 and Phase 3 will have its own FIP in the future. According to the applicant, it is estimated that Phases 1 & 2 will have a construction value of \$3,500,000.00 dollars and the significant community services offered by United Methodist Church are increasingly beneficial to the public and community members.

The tentative schedule for implementation is as noted below:

- Phase 1: 2018 construction/completion.
- Phase 2: 2025 construction/completion.
- Phase 3: 2030 construction/completion.

### Downtown Planned Unit Development (D-PUD)

A Downtown - Planned Unit Development (D-PUD) may be used as a custom zoning district for any land use or combination of land uses. An approved D-PUD will supersede any underlying zoning district and rezoning of a combination of dissimilar parcels will not be required. D-PUDs shall be on a tract of land not less than one-quarter (1/4) acre of land (10,890 square feet). This development exceeds the minimum standard.

## CITY OF ONALASKA

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### Standards for Review:

The following development and design standards are used to review D-PUDs defined in Section 13-3-18 of the Unified Development Code. Applicant requests and staff comments on each criterion are bulleted.

#### (a) Permitted Uses:

- Proposed uses include the following (more detailed list found in applicant letter):
  - Single family dwellings (attached/detached), community living arrangements, multi-family dwellings (including senior housing & other special needs housing), family daycare/nurseries, preschool/centers school-age daycare, food-related services (neighborhood grocery, food pantry, farmers market, bakery, café, coffee shop), retail uses (stationary store, gift shop, book store, artist studio), personal services (music/dance/exercise studio, professional office, medical clinic), cultural uses (library, community meeting facility (non-commercial in nature), community center, auditorium, warming shelter, public emergency shelter), club/fraternity/lodge user, church and place of worship, educational facility, open spaces uses, manufacture/packaging of confection/jewelry, public facility, and parking facilities.

#### (b) Conditional Uses:

- None Proposed.

#### (c) Density:

- (1) Effect on adjacent properties: The major proposed change includes the removal of one (1) single family residence to facilitate Phase 1.
  - Properties west, north, and east of the proposed D-PUD are single-family residential dwellings and parking lot owned by United Methodist Church.
  - Properties south of the proposed D-PUD include the City Hall, City Hall parking lot, and a funeral home.
- (2) Adequacy of public & private services/infrastructure:
  - This plan includes the vacation of the alleyway separating United Methodist Church parcels which is currently underway. Existing utilities (water & sewer) are sufficient for Phases 1 – 3. Phase 1 will include a new water service that will be able to provide for a fire sprinkler system (part of Phase 2 development).
- (3) Overall design.
  - Architectural renderings of the final product are included in the packet. As Phases 1 & 2 (and potentially Phase 3) will require Site Plan Review, architecture is reviewed as part of the overall project. The addition appears to complement existing architecture of United Methodist Church (colors/materials).
- (4) Scale and massing of structures.
  - Phases 1 & 2 are possible as part of vacating the alley which allows the additions to occur in a manner that is appropriate to the surrounding development.
- (5) Building elevations and setbacks.
  - The attached site plan notes particular setbacks, details provided in Section (d) below. Colored building elevations have been provided for Plan Commission review.
- (6) Landscaping, screening and buffering.
  - The overall development will include new green space between the existing church building and the parking area and in place of the residence at 215 5<sup>th</sup> Avenue North.
- (7) Open space provision and design.
  - Currently, there is a play/open area on the eastern side of the church and the aforementioned additional green spaces will be added as part of Phase 1. All other existing green space around the perimeter of the facility is proposed to remain.
- (8) Retention of natural, cultural, and historic resources.

## CITY OF ONALASKA

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- Not applicable to this project.
- (d) Setbacks. Setbacks may vary in D-PUD's.
- Each structure will have one (1) street designated as “front” with a twenty-five (25) foot setback. All other sides (even if abutting a street) will not follow the twenty-five (25) foot setback. Side yard setbacks have a minimum of five (5) foot setback. Zero (0) foot setback for rear yards.
  - In order to ensure that the structures and pavement do not occupy 100% of the site, the proposed includes a total maximum building area (including canopies) of forty percent (40%) of the site. Total parking and drive areas shall not exceed thirty percent (30%) of total site.
  - Proposed Parking Garage Credit: For every required parking space that is relocated to “below Grad” parking either under created green space or below building footprint, the allowable building footprint may be increased by 625 SF.
- (e) Building Height:
- Proposed overall height is three (3) stories, not including basements or parking structures that may be partly or fully below grade.
  - Church Steeple – overall height is 65 feet. However, steeple shall be designed to fit into the architecture of the building.
- (f) Environmental Design:
- The purpose of the Phase 1 & 2 developments is to provide ADA accessibility to the public. The projects have been designed to accommodate the unique slope/elevation changes found on the properties in question.
- (g) Open Space:
- Overall, the proposed open space for the D-PUD is thirty percent (30%) which provides for general green space, playground and shelter space, and biofilters that serve stormwater purposes on-site.
- (h) Architecture:
- The City will require complete architectural plans and renderings as part of the Final Implementation Plan. Included in the D-PUD are the proposed building elevations which remain in character with the existing facility.
- (i) Parking:
- Parking on-site is proposed to be a minimum of thirty-six (36) parking stalls, without exceeding the proposed parking and drive maximum pavement of thirty percent (30%) of the site. Currently, there are approximately 66 parking stalls serving this facility (36 on property and 30 in the parking lot at 505 King Street).
- (j) Street, Utilities, Drainage:
- No new public improvements are proposed. New water service as part of Phase 1 development which should satisfy service needs for future fire safety services of Phase 2.
- (k) Circulation/Access:
- Entire block is served by sidewalks and multiple connections to the sidewalks occur throughout the site.
- (l) Landscaping:
- Site Plan indicates landscaped areas. One (1) ash tree will be removed and replaced as part of the development.
- (m) Signs:
- Currently, three (3) monument signs exist at the facility which shall remain. Said signs may be updated or reconstructed in their current locations provided the following occur:
    - Character of the sign remain consistent with building architecture;

## CITY OF ONALASKA

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- Foundation of any replacement not to exceed existing foundation by more than ten percent (10%);
- Sign(s) not placed closer to adjacent right-of-way than current sign(s);
- Any sign reconstruction shall be made to comply with the physical conditions of the sign ordinance for size, area, brightness, height, or any properties required of the sign as contained in Section 13-6-24; 13-6-25; &13-6-20 of the City of Onalaska Sign Ordinance.

### Attachments:

- Applicant Letter describing D-PUD.
- Applicant Letter for Project Overview.
- Applicant Letter D-PUD Uses/Review Standards.
- Phase 1 Materials:
  - Site, Grading, Utility, and Landscaping Plans;
  - Floor Plans and Building Elevations.
- Phase 2 Materials:
  - Site, Grading, and Landscaping Plans.
  - Floor Plans and Building Elevations.
- Appendix A Materials:
  - Phases 1 & 2 Site Plans.
- Application Packet (D-PUD application and checklist).

### Action Requested:

Consideration on the requested Final Implementation Plan for the D-PUD application.

# REQUEST FOR ACTION & POSSIBLE CONSIDERATION BY PLAN COMMISSION:

April 24, 2018

## Agenda Item 9:

**Review and Consideration of a Final Implementation Plan (FIP) for a Downtown Planned Unit Development (D-PUD) application filed by Jeffery Moorhouse, of Onalaska United Methodist Church, 212 4th Avenue North, Onalaska, WI 54650, for the purpose of expanding United Methodist Church utilizing a three-phased approach which include the following parcels located at 212 4th Avenue North, 222 4th Avenue North, 412 Locust Street, 418 Locust Street, 213 5th Avenue North, and 415 King Street (18-229-0, 18-228-0, 18-233-0, 18-234-0, 18-232-0, & 18-231-0).**

1. Site Plan review will be required prior to construction of Phase 1 and Phase 2. If any major modifications to Phases 1 & 2 are proposed, City Staff may submit said changes to the Plan Commission for consideration.
2. Final Implementation Plan for Phase 3 is required prior to re-purposing the Single Family Residences on site as noted in the attached documentation. Site Plan review may be required prior to executing Phase 3.
3. Owner/developer to abide by the Airport Overlay Height Zoning Ordinance and obtain any necessary permits from the City of Onalaska and/or City of La Crosse as needed.
4. All erosion control BMPs (Best Management Practices) to be installed prior to the start of any construction activities. Swale areas/stormwater ponds to be dug prior to start of construction and prior to initial grading to act as sediment traps. Track pad(s) to be installed with a minimum of 3 to 6 inch stones, one (1) foot deep and fifty (50) feet in length. All disturbed areas to have black dirt placed and seeded within seven (7) days of disturbance.
5. As-builts of all utility work required to be submitted to the Engineering Department.
6. Owner/developer to submit final, colored renderings of all four (4) sides of proposed buildings noting architectural elevations with details and materials to be approved by the Planning Department.
7. Any future improvements to these parcels will be subject to additional City permits (i.e., site plan approvals, building permits, zoning approvals). Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.
8. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns. The sale or transfer of all or any portion of the property does not relieve the original developer from payment of any fees imposed or from meeting any other conditions.
9. Any omissions of any conditions not listed in minutes shall not release the property owner/developer from abiding by the City's Unified Development Code requirements.

March 28, 2018

City of Onalaska  
Planning/Zoning Department  
415 Main Street  
Onalaska, WI 54650

Dear Sir or Madam,

Enclosed is the Downtown Planned Unit Development Final Implementation Plan (FIP) application, checklist, and required submittals for Onalaska United Methodist Church.

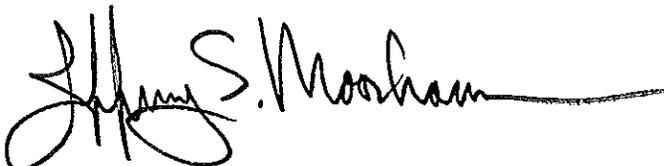
We have attached our General Development Plan (GDP) narrative and the site plans for Phase 1 and Phase 2 in Appendix A for your reference. Much of the information in the narrative applies to our Final Implementation Plan so it seemed appropriate to include that in this document. Specifically, the Project Overview and General Development Plan Standards (including permitted uses, description of density, setbacks, building height, design with the environment, open space, architecture, parking, any planned public improvements, circulation/access, landscaping, and signs) contain most of our proposed requirements in detail. The GDP also gives additional information needed for our FIP.

A narrative for our FIP is also included. This describes the project and identifies where the required information can be found in our FIP document. The narrative also expands on the GDP where necessary.

Also included in the application package are plan sets for Phase 1 and Phase 2. The Plans for each Phase provides a scaled map of the project including arrangement of buildings, parking, circulation, open space, and general areas of landscaping. The grading plans show existing topography and proposed grading and drainage and how the project will fit onto the unique site. Floor plans and three dimensional renderings show the intended future building layout and how the exterior of the building will complement the existing building and neighborhood. Phase 1 provides sewer and water utilities for both Phases so only Phase 1 documents include utilities.

If you should have any questions, please do not hesitate to call the church office at (608) 783-3380 or you can reach me at Paragon Associates at (608) 781-3110.

Sincerely,



Jeffrey S. Moorhouse, Trustees Chair

# ONALASKA UNITED METHODIST CHURCH

A CONGREGATION OF THE UNITED METHODIST CHURCH

212 4<sup>TH</sup> AVENUE N, ONALASKA, WISCONSIN 54650

<http://www.onalaskaumc.org/>

## PROJECT FINAL IMPLEMENTATION PLAN - PROJECT OVERVIEW

The Methodist Church of Onalaska is seeking improvements to our facilities to enhance and to continue to serve our community. As a church, we have continued to plan our future and adapt to the changing needs of those we service. Some of this has been a long term component of our planning efforts while some is newly conceived. However, with the multiple properties and uses necessary to carry out our mission, new more appropriate zoning is required. We are seeking a D-PUD to achieve this objective.

Our current plan is set to three Phases of Development. Phase I is an addition to provide better, safer access to our building. Phase II moves our Fellowship Hall to the main floor to be at the same level as our Sanctuary. This also provides additional lower level entrance and classrooms. Phase III is less specific but is based on the expected useful life of the two remaining single family homes on our property. As they near this end, they will require repurposing, rebuilding or removal. A more specific final development plan will be created for those components. As single family homes, they currently satisfy a reasonable mission objective for us. These properties will continue as homes for the foreseeable future in the short term.

## FINAL IMPLEMENTATION PLAN REQUIREMENTS

- A. **Scaled Map:** The maps included for each phase are to scale but are reduced to fit into this document. Sheet 1 for Phase 1 and Phase 2 are the project site plans.
- B. **The Pattern of Circulation:** This can be seen on the site plans. Sidewalks, driveways, and streets are all shown on the documents.
- C. **Detailed Lot Layout:** The site plans also show our lot lines proposed. This is basically the house on the northwest corner (4<sup>th</sup> and Locust) remains on its own lot while the balance of the block is proposed to be joined into a single second lot.
- D. **Locations of Buildings:** All proposed buildings are shown on the site plans.
- E. **Architectural Elevations:** These are included in the documents for each Phase. The drawings follow the various site plans that have been included.
- F. **Master Grading and Drainage Plans:** Detailed grading plans are included with the site plans for each phase.

- G. Utility Plans:** Most of the building is already served by utilities. However and new sewer and water service (including fire protection service) is included with Phase 1 which will serve the needs of Phase 2. Building fire protection is included in Phase 2.
- H. Open Space Plan:** Item G of our GDP sets open space at 30% for our project which meets the minimum 15%.
- I. Master Landscape Plan:** This is part of the Phase 1 and Phase 2 site plan documents. The key on the plan shows which trees are existing or proposed. The plans also indicate lawn and landscaped areas.
- J. Proof of Financial Treatment:** It is our understanding that this is not applicable for this project.
- K. Economic Analysis:** An economic analysis is included on page 4 of the GDP in Appendix A.
- L. Project Schedule:** An overall schedule of the development is included on page 4 of the GDP. However, Phase 1 is expected to start site preparation work May 15<sup>th</sup> with Phase 1 being complete by October 26<sup>th</sup>, 2018.

# ONALASKA UNITED METHODIST CHURCH

A CONGREGATION OF THE UNITED METHODIST CHURCH

212 4<sup>TH</sup> AVENUE N, ONALASKA, WISCONSIN 54650

<http://www.onalaskaumc.org/>

## **PROJECT OVERVIEW**

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## **GENERAL DEVELOPMENT PLAN STANDARDS**

### **A. PERMITTED USES:**

- (1) One (1) family dwelling.
- (2) Community living arrangements.
- (3) Family day care homes.
- (4) Zero (0) lot line housing.
- (5) Single-family attached dwellings, including duplexes, townhouses, row houses.
- (6) Multi-family dwellings, including senior housing.
- (7) Special needs housing, such as community living arrangements and assisted living facilities.
- (8) Rest Homes, nursing homes, homes for the aged and clinics, and such similar facilities, Children's nurseries, daycare centers, preschool, centers and school-age daycare programs
- (9) Food related services (neighborhood grocery store, food pantry, farmers market, bakery, café, or coffee shop).
- (10) Retail uses (stationery store; gift shop, book store; studio and shop for artists and artisans).
- (11) Services (day care center; music, dance or exercise studio; professional office, or medical clinic).
- (12) Cultural uses (library, community meeting facility, community center, auditorium, warming shelter, public emergency shelter).
- (13) Clubs, fraternities, lodges and meeting places of a non-commercial nature
- (14) Church and place of worship related uses.
- (15) Educational facility.

- (16) Open Space Uses (passive recreation, park, or playground).
- (17) Manufacture and packaging of confection or jewelry.
- (18) Parking facilities
- (19) Public facilities

**B. CONDITIONAL USES:** None

**C. DENSITY**

- 1. In relation to adjacent properties, our facilities will not appear contextually different. Our site is currently occupied by a substantial structure and most of the proposed building activity is located in the middle of the project site. The greatest change will be in Phase I on the east side of the project. This is because the house located at 213 5<sup>th</sup> Avenue North is being removed to allow for the Phase I construction.
- 2. City services to the project are adequate as we are not anticipating increased demand for sewer and water. The exception to this is in Phase II, we will be adding a fire sprinkler system to the entire Church Building. Service for this is adequate once a new water service is installed as part of the Phase I work.
- 3. The design of the building phases has been done to tie into the look of the existing building. Architectural renderings are included in our submittal.
- 4. The scale and massing of the proposed additions are demonstrated in the drawings and are appropriate for the building.
- 5. Building drawings included in the submittal show the elevations and site drawings demonstrate compliance with proposed setbacks.
- 6. Additional green space is being added where appropriate. Added green space will be replacing the 213 5<sup>th</sup> Avenue house. New green space is incorporated between the church building and the parking where there is none now.
- 7. Open space is being preserved in reasonable proportion to the building and parking. Site plans indicate green space being provided. Perimeter green space remains virtually unchanged by the project.
- 8. There are no natural or historic resources here needing preservation.

**D. SETBACKS**

Front:

Each structure in the D-PUD shall have a one street designated as 'front.' This setback for the front shall be 25'.

Side yard:

Sides, other than front, shall have a minimum setback of 5 feet.

Rear yard:

None

Area:

- 1. Total maximum building area (including canopies) shall not exceed 40% of the D-PUD site.

2. Total parking and drives shall not exceed 30% of the D-PUD site.
3. Parking garage credit: For every required parking space that is relocated to “below Grade” parking either under created green space or below building footprint, the allowable building footprint may be increased by 625 SF.

#### **E. BUILDING HEIGHT**

1. 3 stories not including basements or parking structures that may be partly or fully below grade.
2. Church Steeple – 65’ height limit. However, steeple shall be designed to fit into the architecture of the building.

#### **F. DESIGN WITH THE ENVIRONMENT**

We have specifically worked with the changing elevations of our site to arrive at a unique and sensitive plan; providing important access for those in our community with physical and mobility challenges.

#### **G. OPEN SPACE**

We are proposing open space for 30% of our site. This is important to us because of our need for a playground and shelter. We also have two biofilters that are preserved in Phase I with one being relocated in Phase II.

#### **H. ARCHITECTURE**

The project design is under contract with the local architectural firm HSR Associates. We will be submitting specific architectural drawings depicting the character of our proposal as part of the Final Development Plan process.

#### **I. PARKING**

Parking on-site shall include a minimum of 36 spaces without exceeding the proposed maximum parking and driveway pavement for the site of 30%.

#### **J. STREETS, UTILITIES, AND DRAINAGE**

No public improvements are proposed.

#### **K. CIRCULATION/ACCESS**

The facilities are connected to the public sidewalk system at multiple locations. The church worked with the city recently to establish sidewalks around the entire block.

#### **L. LANDSCAPING**

Landscaped areas are shown on our submittal site plan. No hardwood trees are being removed with this project except one Green Ash which will be suitably replaced.

## **M. SIGNS**

We show on our plans existing signs. There are three. We propose that these be allowed to remain at these locations. All three are monument type structures. These may be updated or reconstructed at their current locations provided the following:

1. The character of the sign shall remain consistent with the building architecture.
2. The foundation of any replacement shall not exceed the existing foundation by more than 10%.
3. The sign shall not be placed closer to any adjacent right-of-way than the current sign.
4. Any sign reconstruction shall be made to comply with the physical conditions of the sign ordinance for size, area, brightness, height, or any properties required of the sign as contained in Section 13-6-24; 13-6-25; & 13-6-20 of the City of Onalaska Sign Ordinance.

## **ECONOMIC ANALYSIS OF THE DEVELOPMENT**

It is estimated that Phases I and II of the development will have a construction value of \$3,500,000. Even though this does not have a direct tax benefit to the city, our church offers significant beneficial community services and support for citizens that is an important part of a healthy and happy community.

## **TENATIVE SCHEDULE**

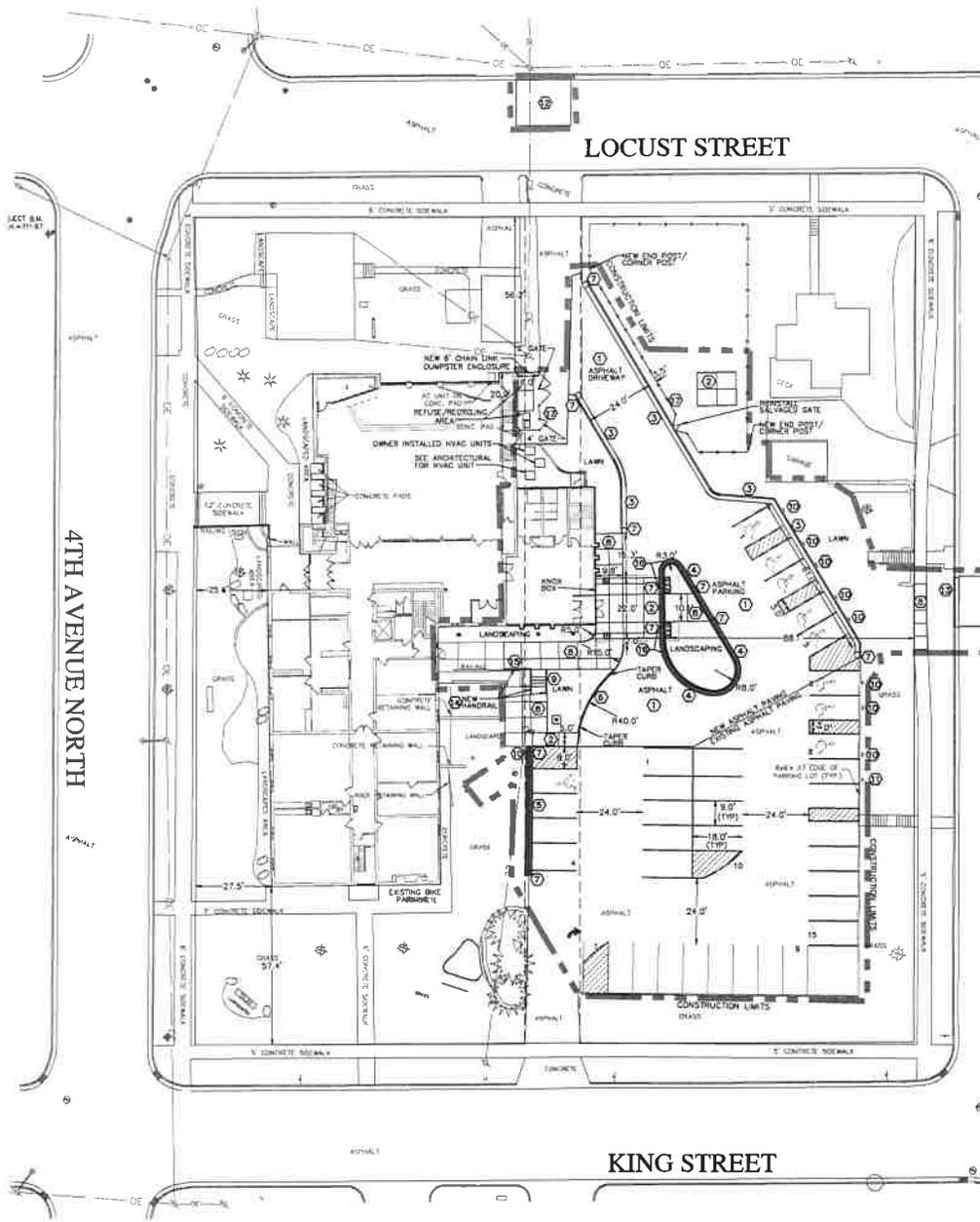
Phase I – complete in 2018

Phase II – complete in 2025

Phase III – complete in 2030

Onalaska United Methodist Church  
D-PUD  
Final Implementation Plan

# Phase 1



**SITE NOTES**

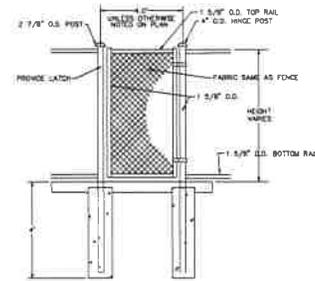
- The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether above or below ground, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and remove any and all utilities. CALL DIGGERS HOTLINE (800) 242-5511
- The underground locations of the Public Utilities were marked by representatives of those companies. The locations of the privately owned underground utilities were not marked.
- There may be more underground utility installations within the project area that are not shown.
- It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
- Any and all parties utilizing vertical datum shall always check into at least two (2) benchmarks to avoid mistakes due to typos or adjustments or transcription errors. Failure to do so will be considered negligent and subject to the offending party to any damages resulting therefrom.
- Dimensions are to face-of-curb unless otherwise noted.

**SITE NOTES**

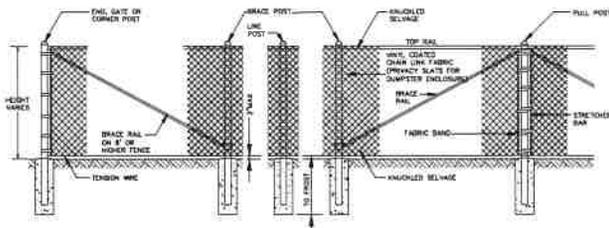
- 1 SEE DETAIL (A) FOR ASPHALT PAVEMENT SECTION
- 2 SEE DETAIL (A) FOR CONCRETE PAVEMENT SECTION
- 3 SEE DETAIL (A) FOR TYPICAL 24" CURB AND GUTTER SECTION
- 4 SEE DETAIL (A) FOR 24" CURB AND GUTTER - REVERSE SLOPE
- 5 SEE DETAIL (A) FOR 30" MOUNTABLE CURB - REVERSE SLOPE
- 6 SEE DETAIL (A) FOR TYPICAL 6" CURB SECTION
- 7 SEE DETAIL (A) FOR END SECTION CURB AND GUTTER
- 8 SEE DETAIL (A) FOR SIDEWALK PAVING AND JOINTING
- 9 SEE DETAIL (A) FOR REINFORCED CONCRETE STEP
- 10 SEE DETAIL (A) FOR NEW AND SALVAGED DISABLED PARKING SPACES
- 11 REINSTALL SALVAGED "PASTOR PARKING" SPACES PER DETAIL (A)
- 12 PATCH STREET PER CITY OF ONALASKA STANDARDS. CONTRACTOR SHALL PROVIDE A 12 MONTH WARRANTY OF THE STREET PATCH AGAINST FAILURE OR SETTLEMENT OF MORE THAN 1/4" MEASURED WITH A 10' STRAIGHT EDGE.
- 13 REPLACE CURB AND GUTTER TO CITY OF ONALASKA STANDARDS
- 14 SEE DETAIL (A) FOR HANDRAIL
- 15 SEE DETAIL (A) FOR THICKENED EDGE SIDEWALK
- 16 8" CURB HEAD IN THIS LOCATION. TRANSITION 8" TO 8" IN 2 FEET.
- 17 SEE DETAILS (A) AND (B) FOR VINYL CHAIN LINK FENCE AND GATE

**SITE PLAN PERMIT NOTES**

- TOTAL DISTURBED AREA = 31,883 SF
- REQUIRED PARKING (1 SPACE/75 SQUARE FEET) = 60 SPACES
- PROPOSED PARKING = 96 TOTAL (58 UPPER LOT, 38 LOWER LOT)
- TOTAL EXISTING IMPERVIOUS (IN PROJECT AREA) = 20,874 SF
- TOTAL PROPOSED IMPERVIOUS (IN PROJECT AREA) = 23,856 SF
- TOTAL ADDITIONAL IMPERVIOUS = 2,984 SF
- ROOF AREA SHEDDING TO ON-SITE DRAINAGE = 2,539 SF
- TOTAL ADDITIONAL UNTREATED IMPERVIOUS = 345 SF



**FENCE GATE DETAIL**  
NO SCALE



**TYPICAL CHAIN LINK FENCE SECTION**  
NO SCALE



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN



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**ONALASKA UNITED  
METHODIST CHURCH  
EAST ENTRY ADDITION**

212 4TH AVENUE  
ONALASKA, WISCONSIN

**SITE PLAN**

Project Number: 17074

Project Date: MARCH 2018

Drawn by: C.G.

Rev. Plan:

Scale:

Date:

Author:

Checker:

Reviewer:

Approver:

Scale:

Date:

Author:

Checker:

Reviewer:

Approver:

Scale:

Date:

Author:

Checker:

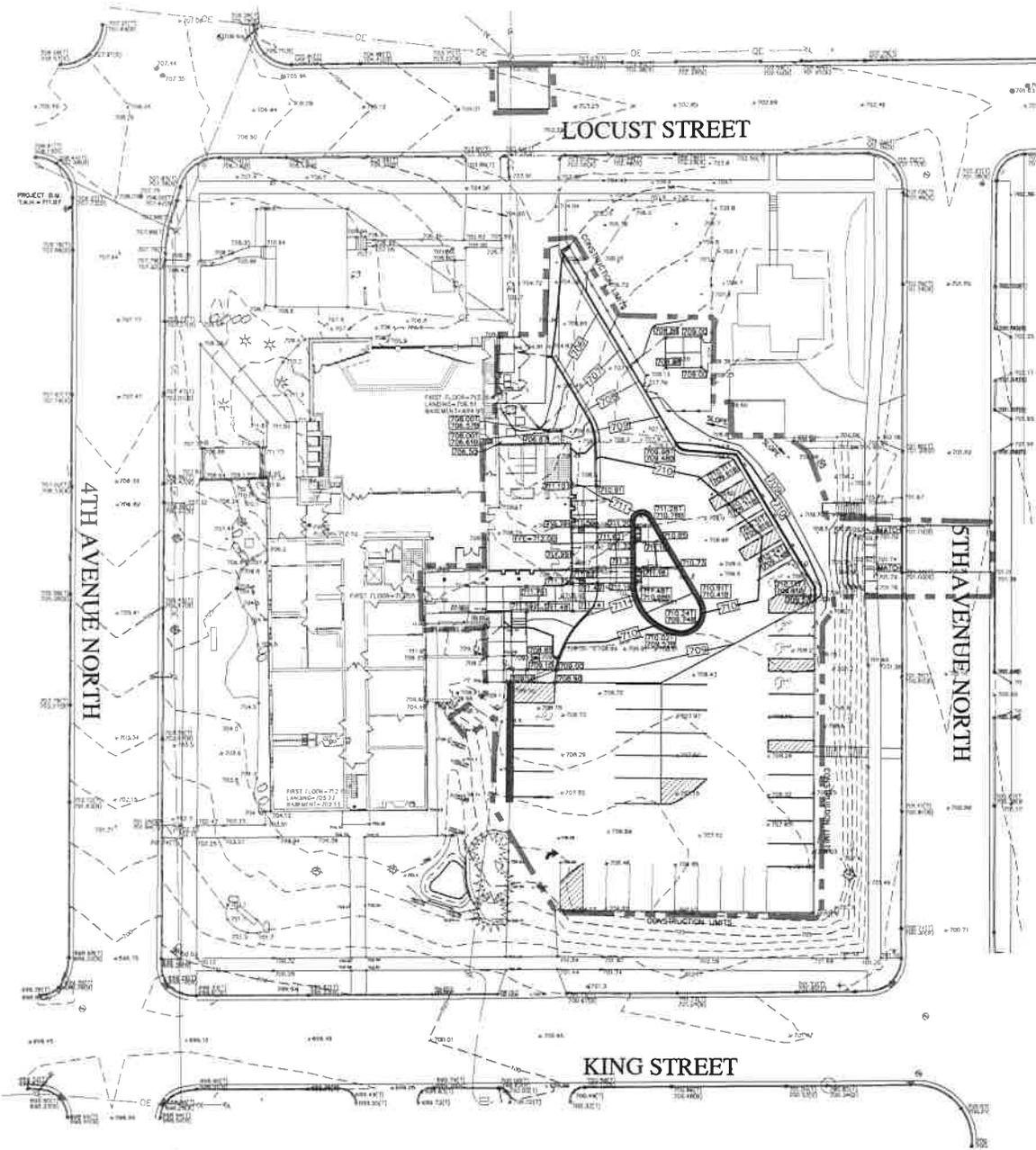
Reviewer:

Approver:

Scale:

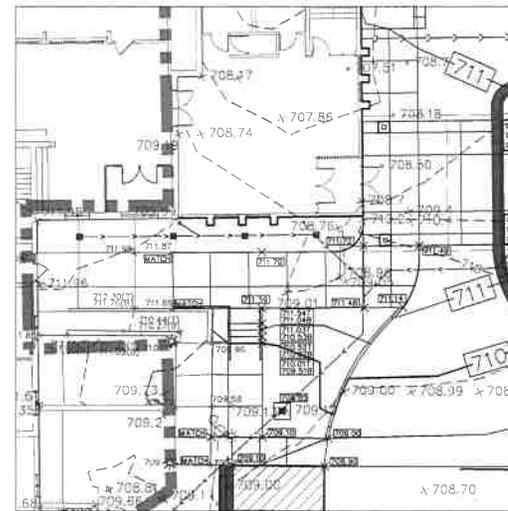
Date:

**C100R**



**GRADING NOTES**

- CONTOURS SHOWN ARE FOR FINISHED SURFACES. ANY ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS THAT ARE UNPAVED ARE TO BE LANDSCAPED OR SOODED AS INDICATED ON THE LANDSCAPE PLAN.
- ALL LANDSCAPED OR SOODED AREAS SHALL HAVE A MINIMUM OF 8" OF TOPSOIL.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. HOWEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF SPOT ELEVATIONS DO NOT APPEAR TO AGREE WITH THE CONTOURS AND SLOPES LABELED. SPOT ELEVATIONS AND SPECIFIC PROFILE INFORMATION SHALL BE USED FOR ESTABLISHING THE ELEVATION OF CURBS, DRIVEWAYS, AND OTHER UTILITIES.
- ALL FINISHED GRADING SHALL PROVIDE FOR A SMOOTH TRANSITION TO UNGRADED AREAS.
- ALL PVC STORM SEWER PIPING SHALL BE MINIMUM SIZE 36.



**ENTRY PLAZA GRADING DETAIL**

SCALE: 1"=10'



SCALE: 1"=20'

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN



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**ONALASKA UNITED  
METHODIST CHURCH  
EAST ENTRY ADDITION**  
212 4TH AVENUE  
ONALASKA, WISCONSIN  
GRADING PLAN

Project Number: 17074

Project Date: MARCH 2019

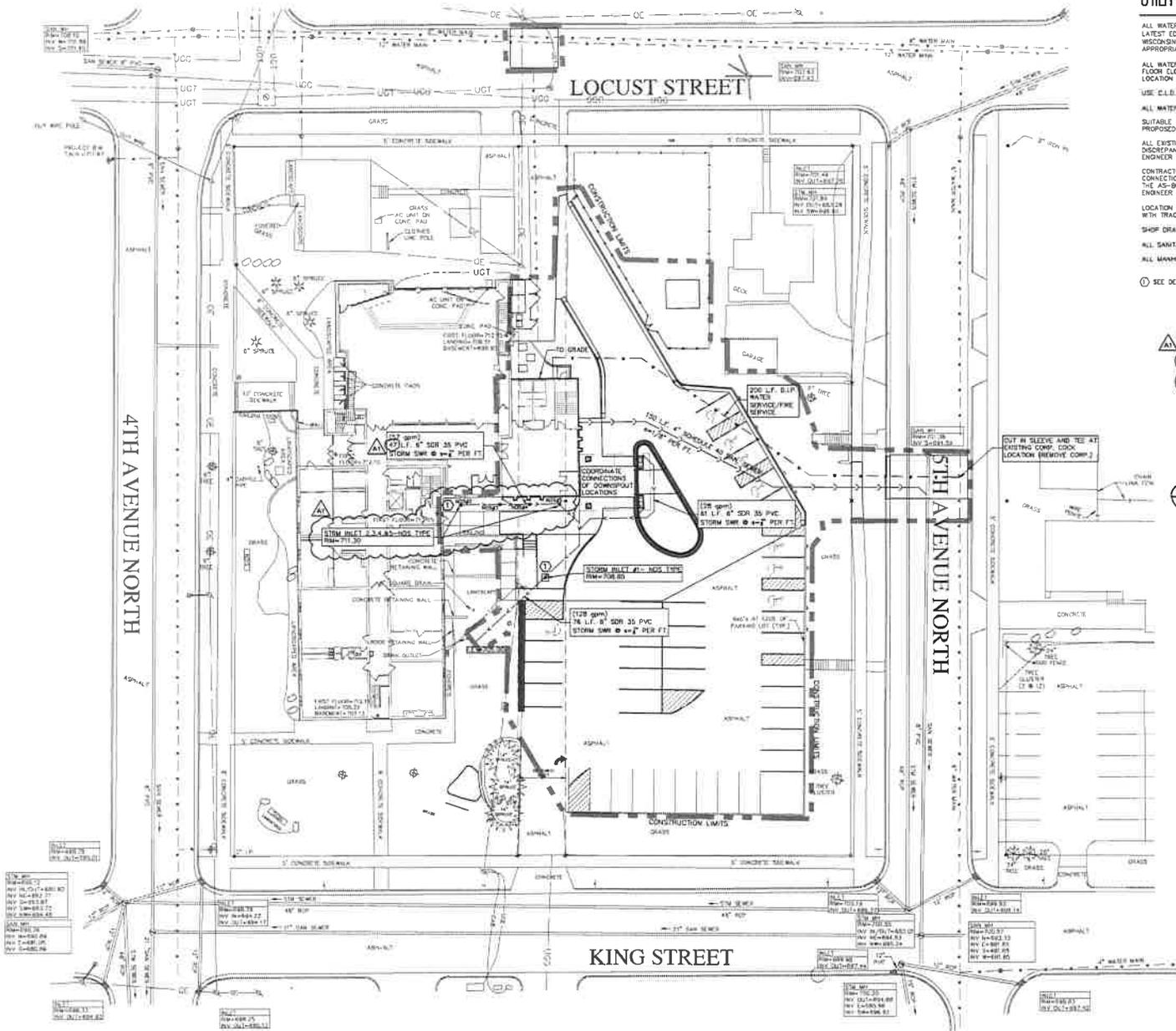
Drawn By: C.G.

Any Note:

Scale: 1"=10'

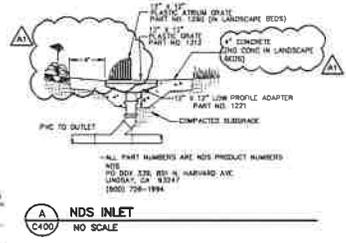
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**C200**



**UTILITY NOTES:**

- ALL WATER & SEWER (STORM & SANITARY) CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR SEWER & WATER IN THE STATE OF WISCONSIN," ALONG WITH THE CITY OF ONALASKA STANDARD SPECIFICATIONS, AS APPROPRIATE.
- ALL WATER & SANITARY LATERALS SHALL HAVE A MINIMUM DEPTH 8' BELOW FINISHED FLOOR ELEVATIONS. THE CONTRACTOR IS THE COORDINATE ACTIVITIES & CONFIRM LOCATION & ELEVATION OF SERVICES WITH THE ENGINEER.
- USE C.L.D.P. FOR ALL WATER MAIN.
- ALL WATER MAINS SHALL HAVE A MINIMUM OF 3" OF COVER.
- SUITABLE ON-SITE GRANULAR MATERIAL SHALL BE USED FOR TRENCH BACKFILL TO PROPOSED ELEVATIONS. BACKFILL SHALL BE COMPACTED AS SPECIFIED.
- ALL EXISTING INVERTS & LOCATIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ALL DISCREPANCIES FROM INFORMATION SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL IDENTIFY & MARK THE EXACT LOCATIONS OF ALL UNDERGROUND CONNECTIONS TO WATER AND SEWER MAINS, SERVICE, CURB SIDES, CLEAN OUTS, ETC. ON THE AS-BUILT PLANS. COPIES OF THESE DOCUMENTS SHALL BE DELIVERED TO THE ENGINEER FOR RECORD.
- LOCATION REQUIREMENT: NON-METALLIC SEWER MAINS AND SERVICES MUST BE PROVIDED WITH TRACE WIRE OR OTHER METHODS IN ORDER TO BE LOCATED.
- SHOP DRAWINGS FOR UTILITIES ARE REQUIRED.
- ALL SANITARY SERVICES ARE 4" IN DIAMETER.
- ALL MANHOLES SHALL BE BUILT WITH ECCENTRIC COVERS.
- SEE DETAIL (A) FOR NDS INLET



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN



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**ONALASKA UNITED  
METHODIST CHURCH  
EAST ENTRY ADDITION  
UTILITY PLAN**

Project Name:	17074
Project Date:	MARCH 2018
Drawn by:	C.G.
Any Plan:	
Scale:	1"=20'
Unit/Date:	03/18/18

**C400R**



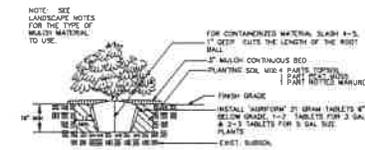


**PLAN NOTES:**

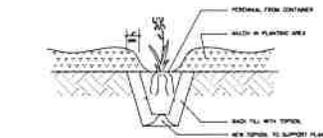
1. VERIFY UTILITY LOCATION BEFORE BEGINNING ANY WORK.
2. PLANTING BEDS SHALL HAVE 6" TOPSOIL AND 4" SHREDDED HARDWOOD BARK MULCH. WOOD MULCH BEDS SHALL HAVE FABRIC WEED BARRIER AND 3" OF #2 RIVER ROCK MULCH. LANDSCAPE EDGING TO BE BULGAN WALL AND MOUSE BLOCK BY MOORE'S MANUFACTURING. INSTALL EDGING AROUND PLANTING BEDS AS PER PLANS.
3. NEW LAWN AREAS AROUND BUILDINGS SHALL BE RESTORED WITH SHALL BE RESTORED WITH SEED AND MULCH. REFER TO PLAN.
4. MODIFICATIONS TO PLANT SPACING MAY BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY PROPOSED CHANGES TO PLANT MATERIALS OR DESIGN.
5. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK.

**PLANT MATERIAL LIST--SCHEDULE**

KEY	BOTANICAL NAME COMMON NAME	SIZE	QUANTITY
Ac	Achillea 'Moonshine' Moonshine Yarrow	1 gal	10
Am	Aronia melanocarpa 'Autumn Magic' Autumn Magic Black Chokeberry	3 gal	5
Hm	Hemerocallis 'Moses Fire' Moses Fire Daylily	1 gal	2
Ha	Hemerocallis 'Stella d'Oro' Stella d'Oro Daylily	1 gal	20
Jh	Juniperus horizontalis 'Hughes' Hughes Juniper	5 gal	7
Pv	Panicum virgatum 'Heavy Metal' Heavy Metal Switchgrass	1 gal	5
Se	Sedum 'Hebeltraud' Autumn Jitzy Sedum	1 gal	10
Sn	Sporobolus heterolepis Prairie Dropseed	1 gal	10
Sn	Salvia nemorosa 'Monach' May Night Salvia	1 gal	11



**A SHRUB PLANTING DETAIL**  
NO SCALE



**B POTTED PLANTS PLANTING DETAIL**  
NO SCALE

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN



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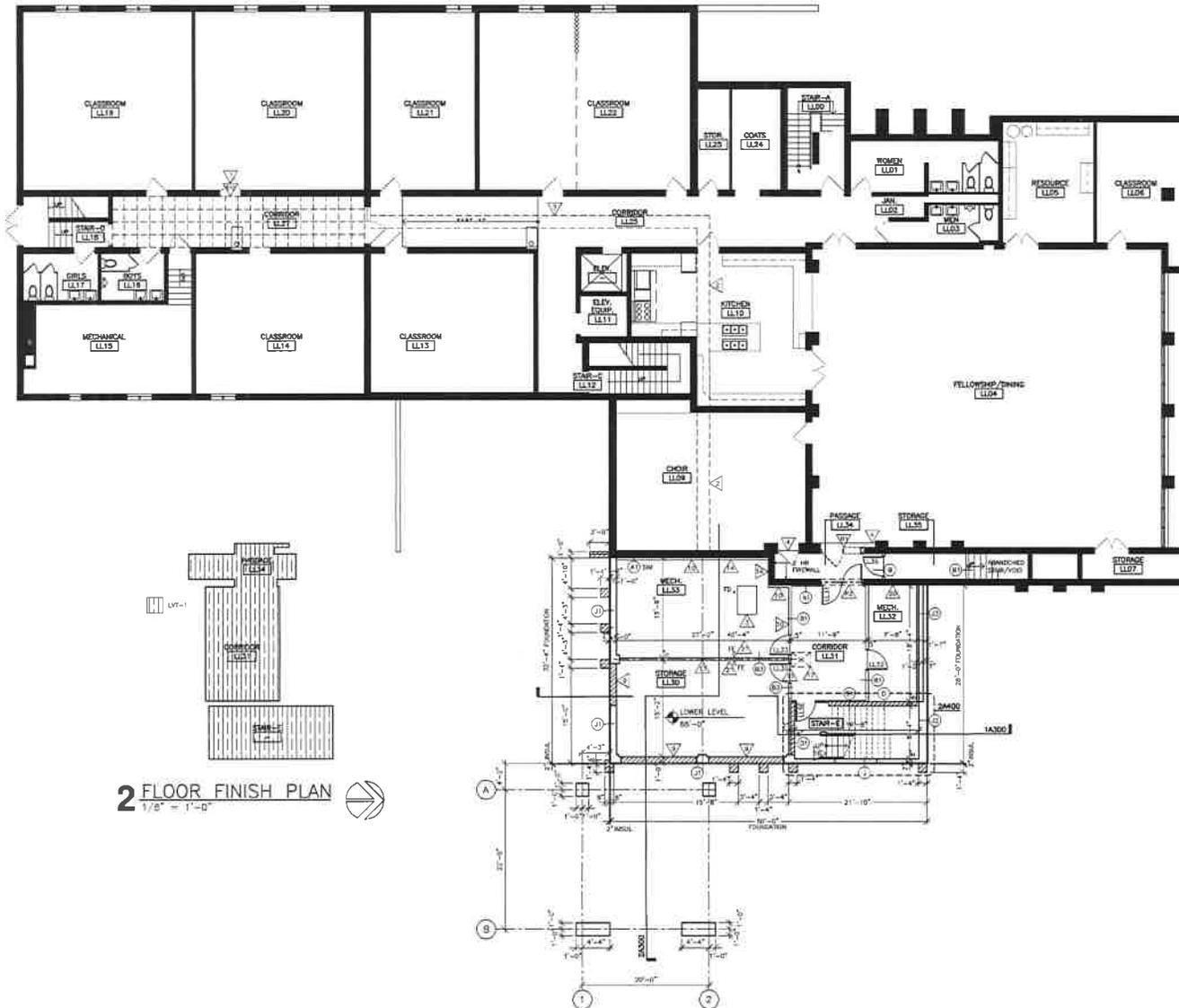
**ONALASKA UNITED  
METHODIST CHURCH  
EAST ENTRY ADDITION**  
212 4TH AVENUE  
ONALASKA, WISCONSIN  
**SITE PLAN**

Project No: 17074  
Project Date: MARCH 2018  
Drawn by: C.G.  
Date: 02/28/18

Scale: 1"=10'

Sheet: L100

Scale: 1"=10'



**2 FLOOR FINISH PLAN**  
1/8" = 1'-0"

**1 LOWER LEVEL FLOOR PLAN**  
1/8" = 1'-0"

<b>GENERAL NOTES:</b>	
1.	SEE SHEETS A100, A101 & A200 FOR REMOVAL KEY NOTE REVISIONS.
2.	SEE ENLARGED PLAN - SHEET A400 FOR ADDITIONAL FLOOR PLAN INFORMATION.
<b>REMOVAL KEY NOTES:</b>	
▽	PORTION OF INTERIOR WALL, DOOR, FRAME AND HVAC UNIT FOR NEW 6'-0" x 7'-0" WINDOW OPENING.
▽	PORTION OF EXTERIOR CONCRETE FILING/WALKER WALL FOR NEW DOORS VERIFY NEW W.D. WINDOW FRAME.
▽	PORTION OF EXTERIOR BRICK & CALL WALL FOR NEW DOORS VERIFY NEW W.D. WINDOW FRAME.
▽	REMOVE EXIST VESTIBULE, CEILING, FURNITURE, DRAPING AND SUPPORT FRAMING. REMOVE TILE FLOORING & GYP SO CEILING TO SUPPORT. ALSO REMOVE ADJACENT CARPET TO LINE ON PLAN.
▽	REMOVE EXIST ROOF STRUCTURE, EXPOSE ROOFING, FLASHING, GUTTERS AND WOOD FRAMING. REMOVE CEILING TO TRIMMER.
▽	ROOF FURNISHING AND RAIN GUTTER & DRAIN AS REQUIRED FOR NEW CONSTRUCTION. ALSO REMOVE ROOFING AND ROOF SHEATHING BRACK A MINIMUM OF 4'-0" FOR NEW FIRE TREATED DECK TO 4'-0" FROM TERMINAL.
▽	SEE ALTERNATE #1.
▽	MIT USE:
▽	SEE SITE DRAWINGS FOR EXTENTS OF SITE REMOVAL.
▽	EXISTING SUSPENDED CEILING GIRD & TILES. PROTECT LIGHTS AND HVAC GRILLES.
<b>ALTERNATE NOTES:</b>	
ALTERNATE #1:	
▽	REMOVE EXIST VESTIBULE.
▽	REMOVE INTERIOR ALUM/CLASS ENTRANCE DOORS & FRAMES. WOOD DOOR FRAME & STUD WALLS.
▽	REMOVE CARPET & QUARRY TILE FLOORING. REMOVE INTERIOR SYSTEM OF SUSPENDED CEILING PATCH/EXTEND VESTIBULE CEILING AND REINSTALL LIGHTS. INSTALL NEW WALK-OFF CARPET IN PLACE OF QUARRY TILE INCL. TRANSITION STRIPS. INSTALL NEW BASE, REPAIR / REPAINT WALLS TO MATCH EXISTING. MATCH ADJACENT FINISH.
▽	INSTALL NEW DOORS AND SILLING AT NEW LOCATION INCLUDING NEW DOOR OPERATORS AND COORDINATION WITH EXISTING DOOR OPERATORS.
<b>REMODEL KEY NOTES:</b>	
▽	NEW SUSPENDED CEILING GIRD & TILES.
▽	REMOVE, SALVAGE AND REINSTALL SUSPENDED CEILING TILES 12 FEET FOR NEW RECYCLED FIBER AND LIGHTWEIGHT.
▽	2'-0" x 4'-0" x 4'-0" AT RISE CONCRETE PAD FOR WALL.
▽	LINE OF NEW FLOORING.
▽	PATCH TO MATCH SUSPENDED CEILING AT PROXIMAL VESTIBULE.
▽	NEW BRICK BOARD HEAT - SEE MECH.
▽	LINE OF EXISTING GYP SO SUPPORT ABOVE TO REMAIN.
▽	PORTION OF GYP SO CEILING TO REMAIN PATCH TO MATCH AND EXTEND ADJACENT GYP SO.
▽	12" CARBON-KIT PANELS - SEE STRUCT.
▽	WOOD STUD BOARING WALL - SEE STRUCT.
▽	STEEL COLUMN IN WALL - SEE STRUCT.
▽	OPENING IN FLOOR ABOVE FOR HVAC OUTDOOR - SEE MECH FOR DIMENSIONS.
▽	COVER EXISTING WINDOW TO MATCH OTHERS WINDOW TO REMAIN. PATCH UP FRAMING AS NECESSARY. WOOD FRAMING & FLOOR ELEMENT BOARD GYPSUM SEAL & PAINT.
▽	GYP SO FINISH, TAPE AND SANGED ONLY.
▽	SEE SECTION ON SHEET A300 FOR SPECIAL CEILING REPAIRS AT BOTTOM CORNERS OF PANELS.
▽	GYP SO & STUD BOARING ABOVE VESTIBULE CEILING.
▽	1'-0" HIGH ANGLE WALL (WALL TYPE "A") WITH SILENT SURFACE GYL AT NEW WINDOW IN EXISTING W.D.
▽	ONE-Piece WIPER, SHIP TRACK & RUBBER SPEAR. SEE MASTER COLOR SCHEDULE SHEET AND CONCRETE FILLED STEEL BOLLS W/ PLASTIC COVER.
▽	WIPER BRUSH/CLEAN AND SEAL EXISTING COND. WALL.
▽	FIRE EXTINGUISHER AND BRACKET BY CONTRACTOR.
▽	FIRE EXTINGUISHER AND SEM-FREQUENT CABINET BY CONTRACTOR.
▽	OWNER PROVIDED MONITORS.



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**ONALASKA UNITED METHODIST CHURCH  
EAST ENTRY ADDITION**  
212 4TH AVENUE  
ONALASKA, WISCONSIN  
LOWER LEVEL FLOOR PLAN

Project Title: \_\_\_\_\_  
Project Location: \_\_\_\_\_  
Project Number: 17074  
Project Date: MARCH 2018  
Drawn By: TRAMPA  
Key Path: \_\_\_\_\_

Last Update: March 1, 2018

**A100**



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ONALASKA UNITED METHODIST CHURCH  
EAST ENTRY ADDITION  
212 4TH AVENUE  
ONALASKA, WISCONSIN  
FIRST FLOOR PLAN

Project Name: ONALASKA UNITED METHODIST CHURCH EAST ENTRY ADDITION  
HSR Project Number: 17074  
Project Date: MARCH 2018

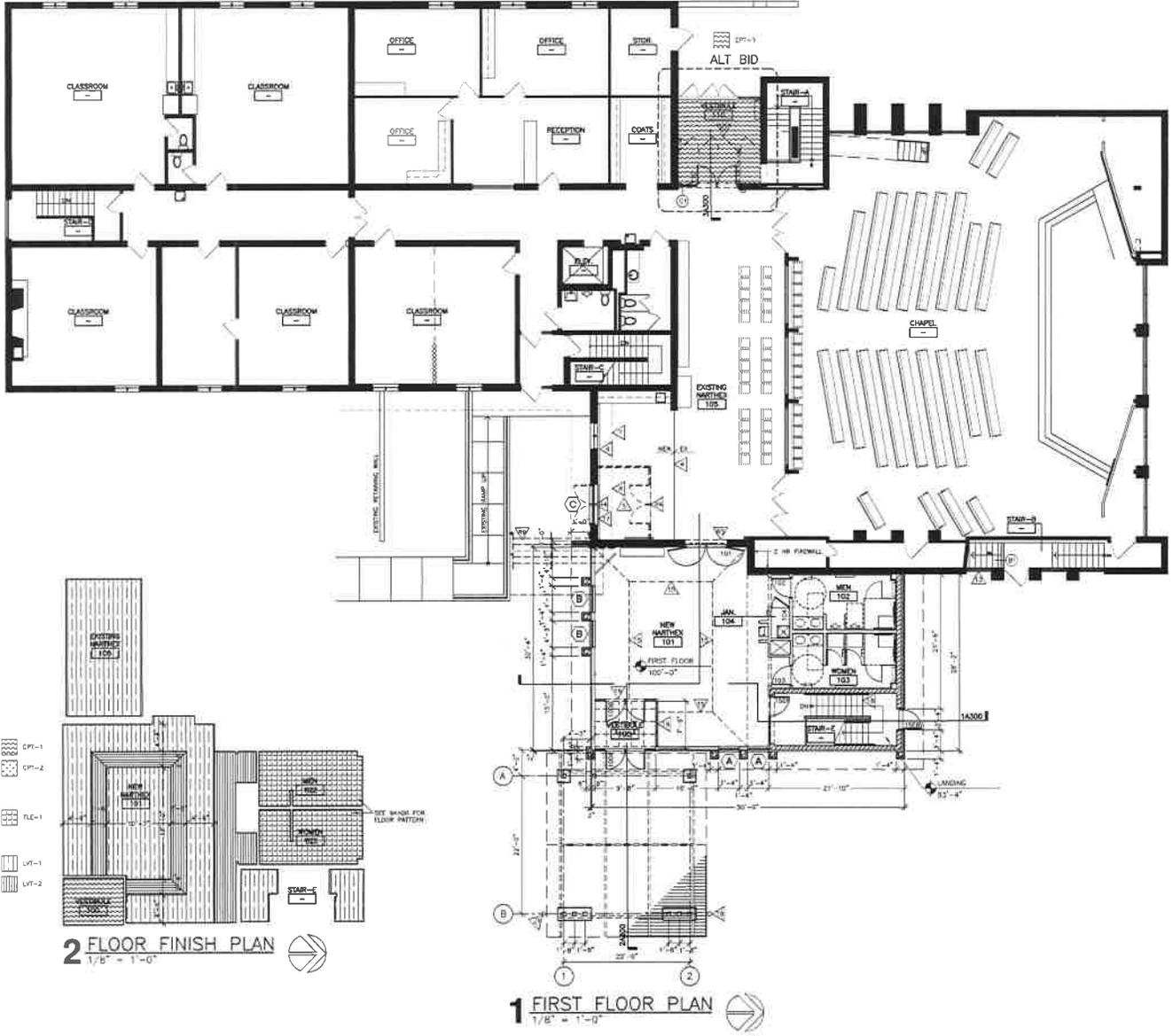
Drawn by: TKAMPA

Key Print:

Call Upset: March 1, 2018

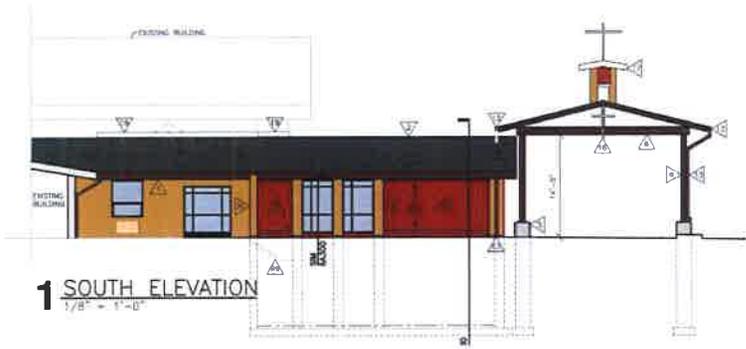
A101

- GENERAL NOTES:**
- A SEE SHEETS A100, A101 & A200 FOR REMOVAL KEY NOTE AREAS
  - B SEE ENLARGED PLAN - SHEET A400 FOR ADDITIONAL FLOOR PLAN INFORMATION
- REMOVAL KEY NOTES:**
- △ PORTION OF INTERIOR CMU RAIL, DOOR, FRAME AND HVAC UNIT FOR RCR 8'-4" X 7'-4" MASONRY OPENING
  - △ PORTION OF EXTERIOR CONCRETE FOUNDATION WALL FOR NEW DOORS VERIFY NEW W.D. R/DOOR FRAME
  - △ PORTION OF EXTERIOR BRICK & CMU RAIL FOR NEW DOORS VERIFY NEW W.D. R/DOOR FRAME
  - △ PREVIOUS EAST VESTIBULE
  - △ DOORS, FRAMES, GLAZING AND SUPPORT FRAMING
  - △ SLATE TILE FLOORING & COPR. SO. CEILING TO SOFFIT ALSO REMOVE ADJACENT CARPET TO LINE ON PLAN
  - △ GABLE FEATURE ROOF STRUCTURE, EPDM ROOFING, FASCIA, SOFFIT AND WOOD FRAMING, SALVAGE CROSS TO OWNER
  - △ ROOF OVERHANG AND RAIN GUTTER & SCROTT AS REQUIRED FOR NEW CONSTRUCTION, ALSO REMOVE ROOFING AND ROOF SHEATHING BRACK & MINIMUM OF 4'-0" FOR NEW FIRE TREATED DECK TO 4'-0" FROM TRIMLINE
  - △ SEE ALTERNATE #1
  - △ NOT USED
  - △ SEE SITE DIMENSIONS FOR EXTENTS OF SITE REMOVAL
  - △ EXISTING SUSPENDED CEILING GRID & TILES, PROTECT LIGHTS AND HVAC GRILLES
- ALTERNATE NOTES:**
- ALTERNATE #1:  
 REMOVE WEST VESTIBULE  
 REMOVE INTERIOR ALUM./GLASS ENTRANCE DOORS & FRAMES, HOOK, ZOOM AND FRAME, & STUD WALLS  
 REMOVE CARPET & QUARRY TILE FLOORING, REMOVE INTERIOR PORTION OF SUSPENDED CEILING, PINK/COTYD VESTIBULE CEILING AND REINSTALL LIGHTS, INSTALL NEW MULLION CARPET IN PLACE OF QUARRY TILE INCL. TRANSITION STRIPS, INSTALL NEW SINGLE BEDRUM / REPAIR WALLS TO MATCH CORNER, MATCH REARLASH FINISH, INSTALL NEW DOORS AND SCHEDULE AT NEW LOCATION INCLUDING NEW DOOR OPERATORS AND COORDINATION WITH EXISTING DOOR OPERATORS
- REMODEL KEY NOTES:**
- △ NEW SUSPENDED CEILING GRID & TILES
  - △ REMOVE SALVAGE AND REINSTALL SUSPENDED CEILING TILES AS REQ'D FOR NEW MECH/ELEC PIPING AND CONDUIT.
  - △ 8'-0" X 4'-6" X 4" FINCH CONCRETE PAD FOR WALL
  - △ LINE OF NEW FLOORING
  - △ PATCH TO MATCH SUSPENDED CEILING AT PREVIOUS VESTIBULE
  - △ NEW BRICK BENCH NEAR SEE WOOD
  - △ USE OF EXISTING COPR. SO. SUPPORT ABOVE TO REMAIN
  - △ PORTION OF COPR. SO. CEILING TO REMAIN, PATCH TO MATCH AND EXTEND ADJACENT SOFFIT
  - △ 12" CMU WINDOW-SUB FRAMES, SEE STRUCT.
  - △ WOOD STUD BEARING WALL - SEE STRUCT.
  - △ STEEL COLUMN IN HALL - SEE STRUCT.
  - △ OPENING IN FLOOR ABOVE FOR HVAC DUCTWORK - SEE LANS FOR DIMENSIONS
  - △ COVER EXISTING WINDOW TO MATCH OTHERS WINDOW TO REMAIN, PRESS FIT WOOD INSULATION, WOOD FRAMING & FIBER-CEMENT BOARD
  - △ COPR. SO. FINISH, TAPED AND SANDED UNCL.
  - △ SEE SECTIONS ON SHEET A300 FOR SPECIAL CEILING DETAILS AT BOTTOM CORN OF TRUSSES
  - △ COPR. HD. & STUD BULKHEAD ABOVE VESTIBULE GLAZING
  - △ 1'-0" HIGH KNEE WALL (WALL TYPE "W") WITH SOLID SURFACE SILL, AT NEW WINDOW IN EXISTING W.D.
  - △ ONE-PIECE WOOD STAIR TREAD & RISK SYSTEM
  - △ SEE MASTER COLOR SCHEDULE SHEET A300
  - △ CONCRETE FILLED STEEL BOLLARD #/ PLASTIC COVER
  - △ WIRE BRUSH/CLEAN AND SEAL EXISTING CONC. WALL
  - △ FIRE EXTINGUISHER AND BRACKET BY CONTRACTOR
  - △ FIRE EXTINGUISHER AND SEM-RECESSED CABINET BY CONTRACTOR
  - △ OWNER PROVIDED MONITORS



2 FLOOR FINISH PLAN  
1/8" = 1'-0"

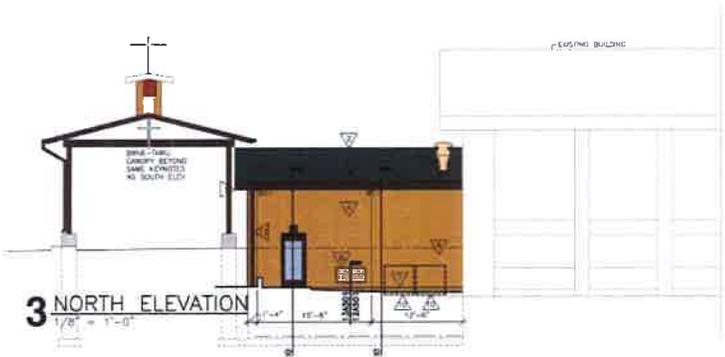
1 FIRST FLOOR PLAN  
1/8" = 1'-0"



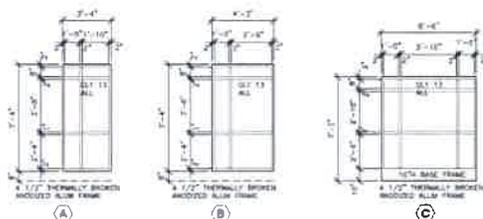
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION**  
1/8" = 1'-0"



**3 NORTH ELEVATION**  
1/8" = 1'-0"



**4 WINDOW ELEVATIONS**  
1/4" = 1'-0"

BUILDING ELEVATION GEN. NOTES:	
A	FIELD VERIFY EXISTING CONDITIONS, BRING ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS TO THE ARCHITECT'S ATTENTION.
B	SEE A100 OR A101 FOR REMOVAL KEY NOTES
BCJ	BACK EXPANSION JOINTS
BJ	BY'S EXPANSION JOINTS
BUILDING ELEVATION KEY NOTES:	
▽	PREFINISHED METAL FLOOR WRAP
▽	NEW EPDM ROOF SYSTEM
▽	EXFL
▽	FACE BRICK
▽	CONCRETE FLOOR WITH RUBBED FINISH
▽	STEEL CANOPY FRAMING - PAINT
▽	LINE OF THRU-WALL FLASHING 12"-0" OVER 8" STEPS DOWN
▽	MHC SHOVE COVER
▽	NOT USED
▽	MHC CONDENSING UNITS AT CORNER IN FOREGROUND
▽	MHC HOLES ON ROOF (APPROX. LOCATION)
▽	FINN GUTTER
▽	DOWNSPOUT
▽	PATCH EPDM ROOF SYSTEM AS PERD'S AT PERIMETER OF GABLE FEATURE
▽	NEW FINE TREATED SOCK AT EXISTING ROOF. SEE REMOVAL KEY NOTE #8
▽	CRACK SOURCE BY OWNER (VERIFY ELEC REQUIREMENTS)
▽	REMOVABLE STEEL SHOVE BY OWNER
▽	SMOKE EXISTING FACE BRICK AND INSTALL RESULT FLASHING AND SEALANT PER ROOF WARRANTY DETAILS
▽	DOWNSPOUT TO BRICK ON REARLINE ROOF
▽	TRIE WALL TO UNDERSIDE OF ROOF DECK HAS TO EXTEND TO OUTSIDE FACE OF FASCIA
▽	EXFL HORIZONTAL BRICK - SEE FINISH
▽	EXFL VERTICAL V-GROOVE - SEE FINISH
▽	CORNER EXISTING WINDOW TO MATCH OTHERS WINDOW TO REMAIN. PRICED BY BIDDING. BY BIDDING FINISHING AND FINISH-CEMENT BOARD EXTERIOR. SILL PERMETERED PANT



HSR ASSOCIATES INC.  
100 MILWAUKEE STREET  
LA CROSSE, WISCONSIN  
PHONE: 608.794.1370  
F.A.C. 608.792.1844  
WEB SITE: www.hsrassociates.com

Project Title: **ONALASKA UNITED METHODIST CHURCH EAST ENTRY ADDITION**  
Project Location: **212 4TH AVENUE ONALASKA, WISCONSIN**  
Drawn By: **Building Elevations**

HSR Project Number: **17074**

Project Date: **MARCH 2018**

Drawn By:

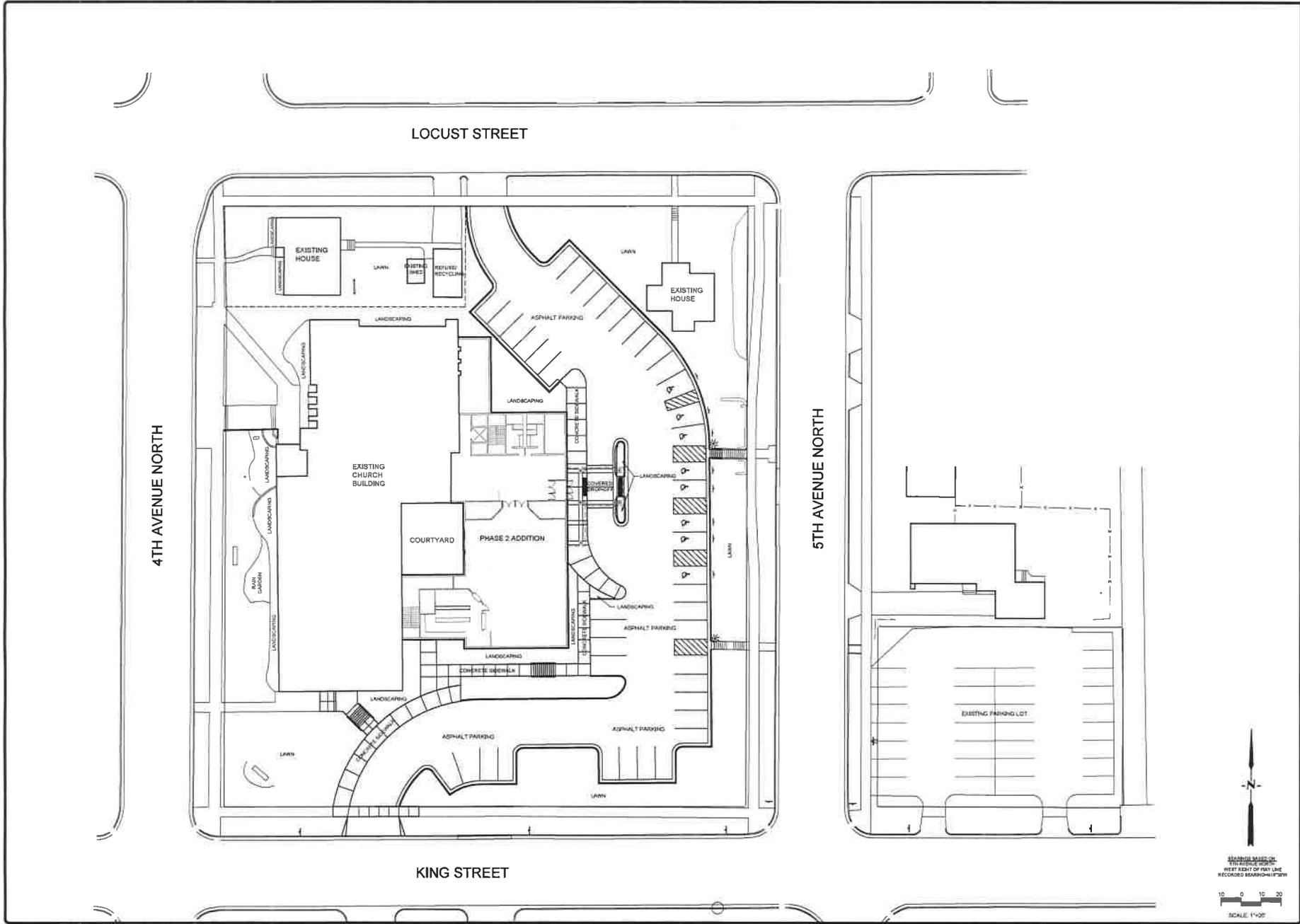
Key Plan:

Last Update: **February 9, 2018**

**A200**

Onalaska United Methodist Church  
D-PUD  
Final Implementation Plan

# Phase 2




**PARAGON ASSOCIATES**  
 Environmental & Planning  
 1000 1/2 S. 10th St., Suite 200, Anchorage, AK 99501  
 Phone: (907) 562-1111

**ONALASKA UNITED METHODIST CHURCH**  
 212 4TH AVENUE NORTH  
 ONALASKA, WI 54660  
**Phase 2 Masterplan - Site Plan**

SCALE 1"=20'

10 0 10 20

WEST RIGHT OF WAY LINE  
 RECORDED REARNO 11/13/2011

**C100**







Concept Image

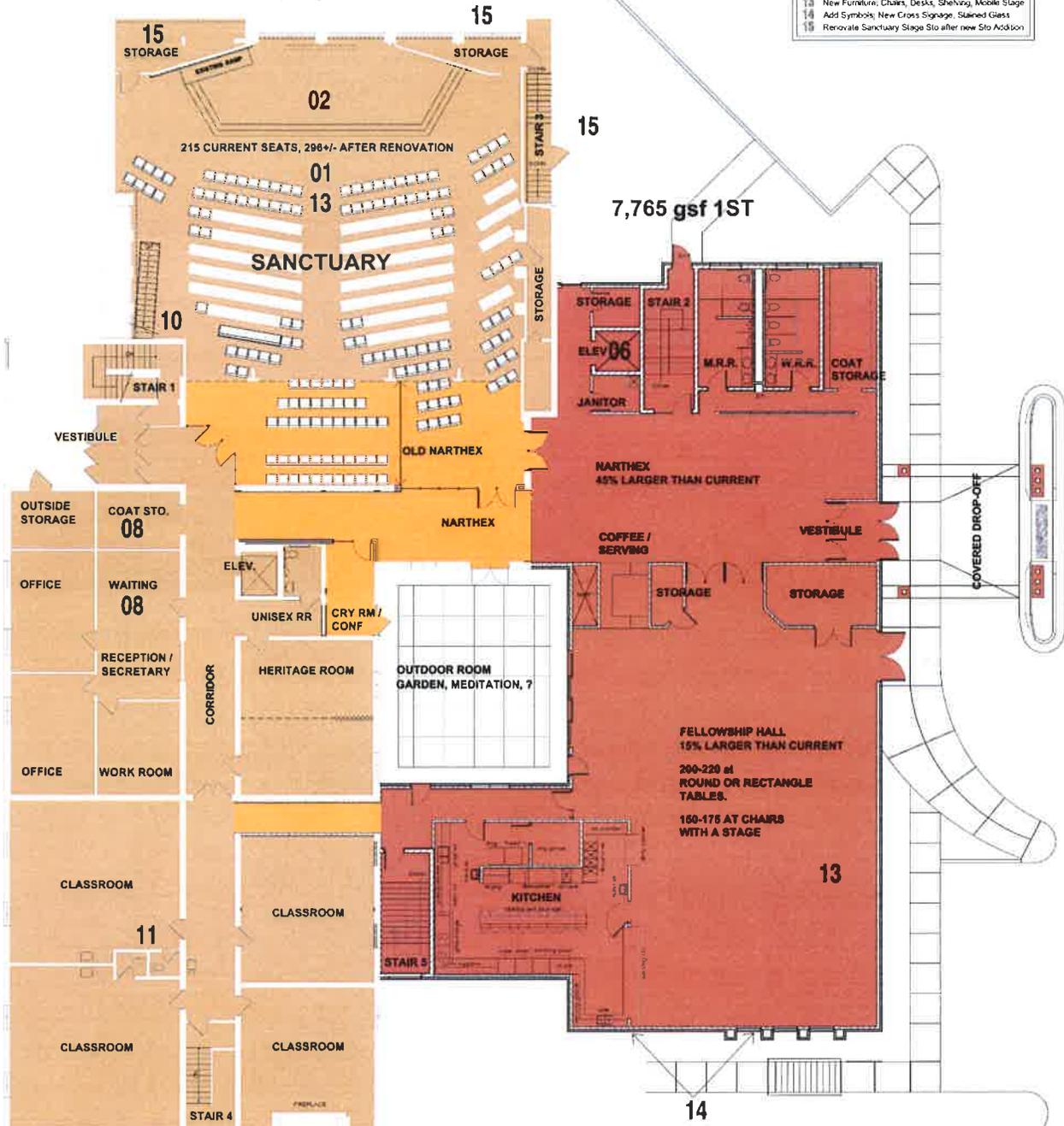
**COLOR KEY**

Red	NEW CONSTRUCTION
Orange	MAJOR RENOV.
Light Orange	MINOR RENOV. ADD SPRINKLERS

**KEY TO THE NUMBERS ON THE PLAN**

NUMBERS INDICATE AREAS WHERE WORK PREVIOUSLY DISCUSSED IS NOT INCLUDED IN THE CURRENT 3.2M BUDGET FOR THE CUMC PROJECT.

01	Relight the Sanctuary area
02	Extend Sanctuary Stage
03	Convert Existing Fellowship Hall to Classrooms
04	Restroom Renov & add Showers Lower Level
05	Renovate & Combine Headstart Restrooms
06	Add Elevator to new shaft in addition
07	Add Mechanical Ventilation to Existing Spaces
08	Upgrade Finishes & add Office at Office Area
09	Finework the Lower Level Kitchen (Upper is InC)
10	Relocate the Sanctuary Sound Booth and Stairs
11	Combine / Renovate Nursery Room Restrooms
12	New Headstart Restrooms
13	New Furniture, Chairs, Desks, Shelving, Mobile Stage
14	Add Symbols; New Cross Signage, Stained Glass
15	Renovate Sanctuary Stage Sto after new Sto Addition



# 3.2m UPPER LEVEL PLAN



Concept Image

9.25.16

Phase 2 - Page 4 of 7







Northeast Elevation



East Elevation



Southeast Elevation

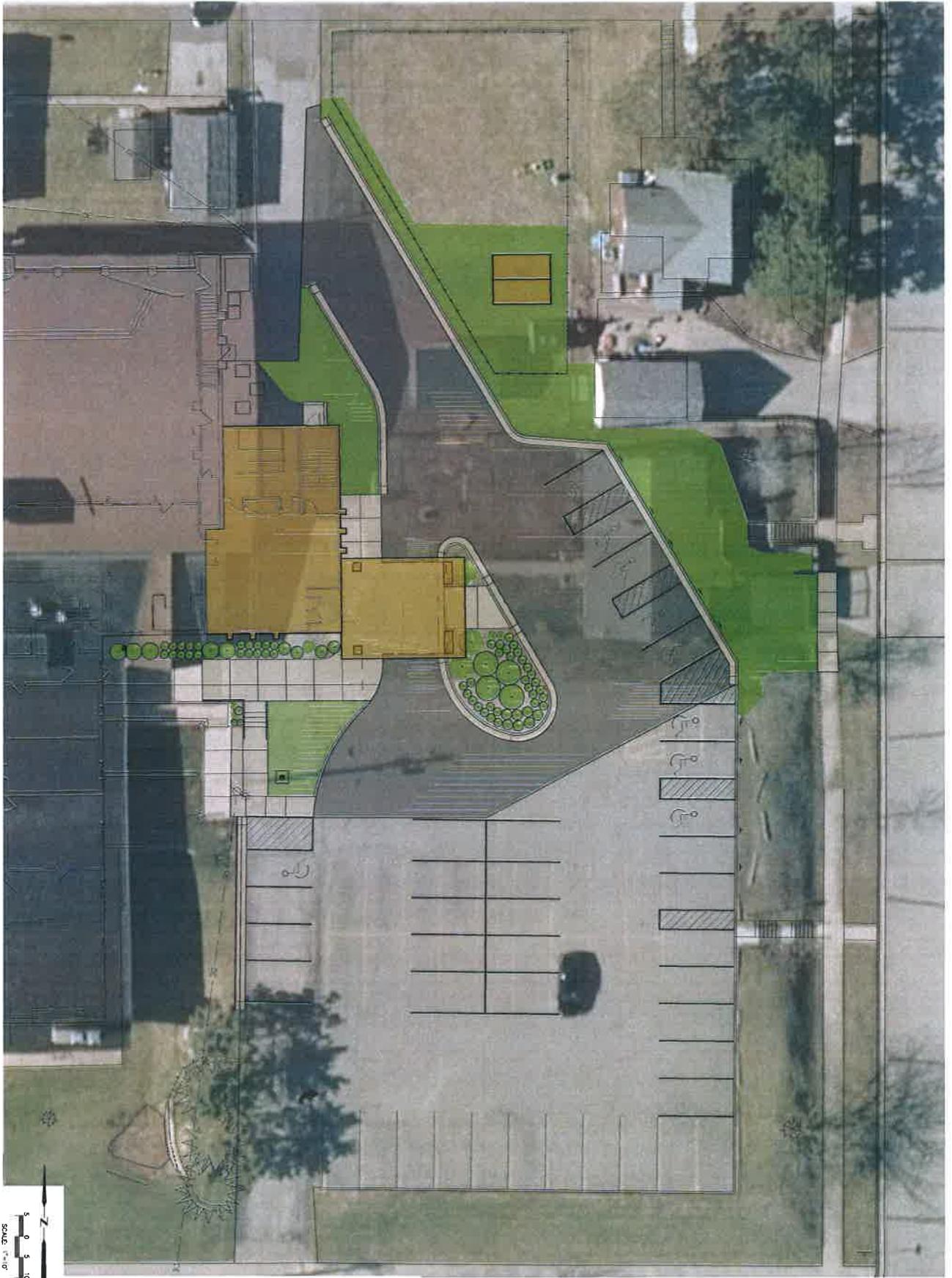


South Elevation

Onalaska United Methodist Church  
D-PUD  
Final Implementation Plan

# Appendix A

General Development Plan (GDP)  
Narrative and Phase 1/Phase 2 GDP Site Plans



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN



**HSR ASSOCIATES INC.**  
1000 W. WISCONSIN  
LA CROSSE, WISCONSIN  
PHONE: 608.785.1800  
WEB SITE: www.hsraassociates.com  
Consultants:

**PARAGON ASSOCIATES**  
1000 W. WISCONSIN  
LA CROSSE, WISCONSIN  
PHONE: 608.785.1800  
WEB SITE: www.paragonassociates.com  
Consultants:

**ONALASKA UNITED METHODIST CHURCH EAST ENTRY ADDITION**  
SITE PLAN

Project Title: **ONALASKA UNITED METHODIST CHURCH EAST ENTRY ADDITION**  
Project Location: **212 4TH AVENUE ONALASKA, WISCONSIN**  
Project Date: **MARCH 2018**  
Project Code: **C.G.**

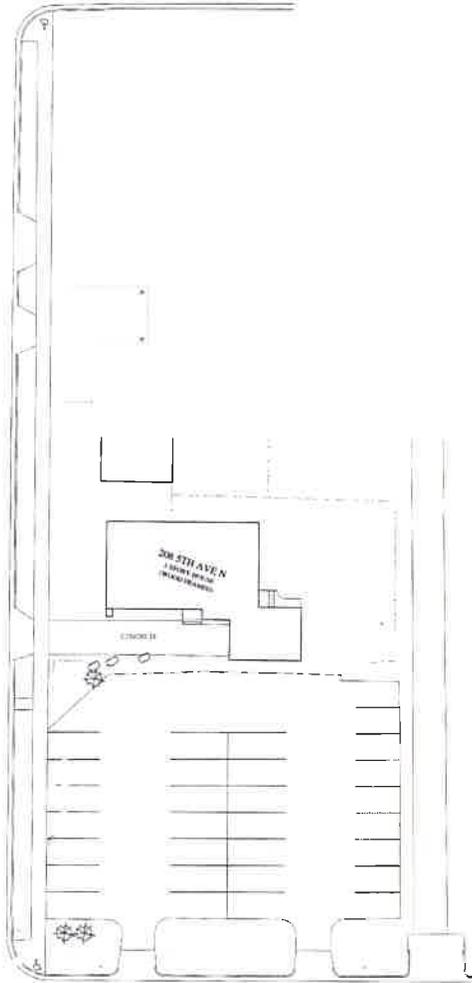
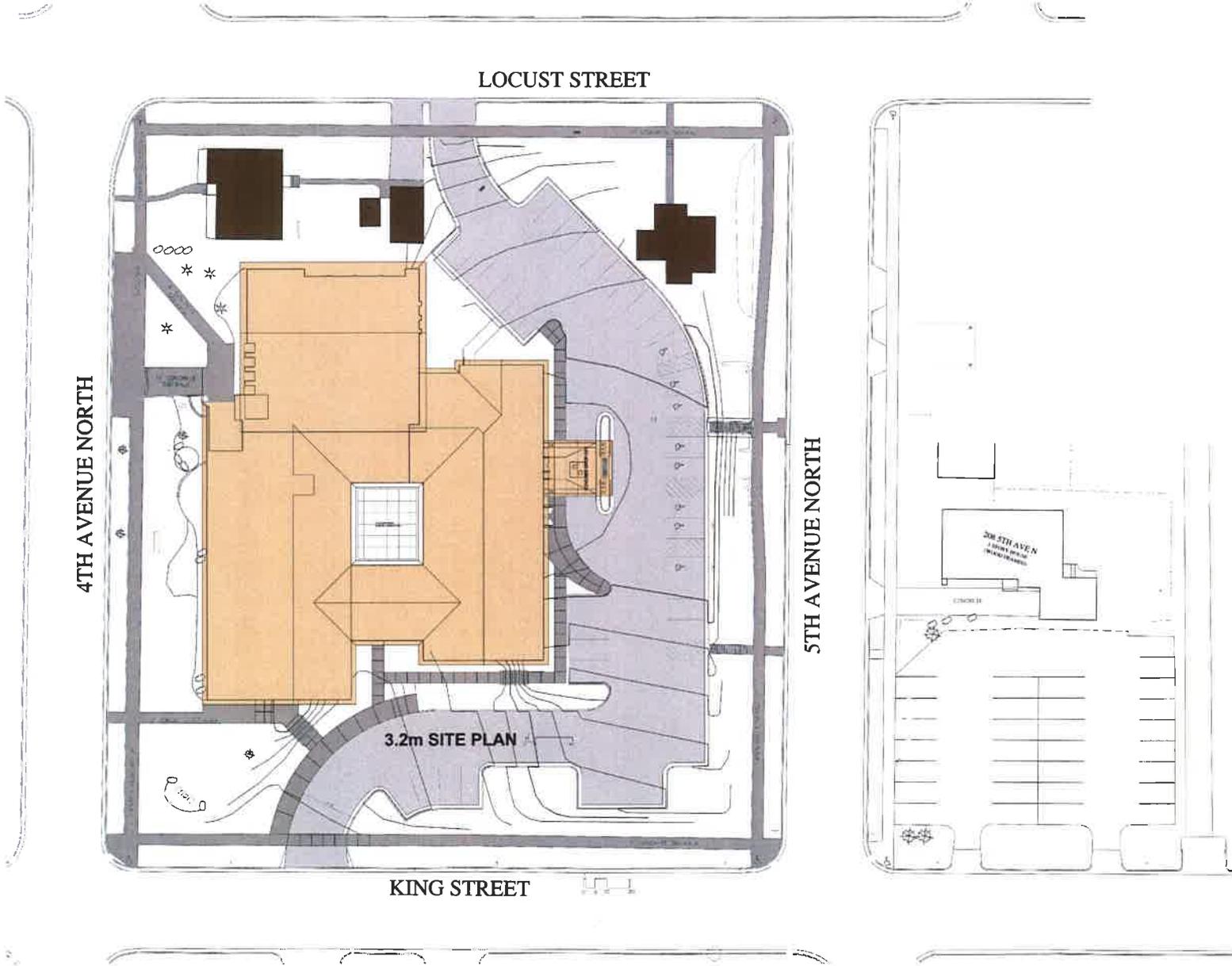
**Phase 1 SITE PLAN**

NO.	DESCRIPTION	DATE

**C100**

SCALE: 1"=10'

Phase 2 SITE PLAN



9.25.16

**ONALASKA**  
UNITED METHODIST CHURCH

**PARAGON**  
ASSOCIATES  
SURVEYING, ENGINEERING,  
LANDSCAPE ARCHITECTURE

**DBSGROUP**  
Design Build Systems

**INR**



City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

### PUD FINAL IMPLEMENTATION PLAN APPLICATION

The following checklist will ensure the timely processing of your application:

➔ **Overview/ Cover Letter Describing the following:**

- ▶ A statement describing character and goals of the PUD.
- ▶ Construction & Engineering Plan Set including: scaled map consistent with GDP, pattern of public/private circulation, lot layout, building arrangement, architectural elevations, grading/drainage plan, utility plan, open space plan & landscape plan, development schedule, etc.

*If incomplete, no further processing of the application will occur until the application is complete.*

A Planned Unit Development (PUD) may be used as a custom zoning district for any land use or combination of land uses. A PUD is reviewed through a two-part process: 1) General Development Plan (GDP) and 2) Final Implementation Plan. The Final Implementation Plan is based off of the GDP and includes a plan set with all items noted above (or Section 13-3-7 (e) of the Unified Development Code) to the Plan Commission and Common Council for final approval. Developers are required to record a legal description of the PUD and conditions of approval that will run with the land to the La Crosse County Register of Deeds.

**Brief Description of Request for a PUD:**

The Onalaska United Methodist Church has spent years working with architects, planners, and builders to arrive at our current 10 year plan of improvement. This 10 year plan addresses important physical needs of our congregation, our community, and our vision for meeting our overall mission. These needs result in a building improvement program that challenges our current site. Through expert planning, we have resolved our challenges into a detailed improvement plan that satisfies our identified physical needs. The three phases of our proposal include two specific building Phases 1 and 2 and a third phase for the replacement, removal, or re-purposing of the remaining two residential units.

**Property Address(es):** 212 & 222 4th Ave. N.;  
412 & 418 Locust; 213 5th Ave. N.; 415 King St.

**Parcel Number(s):**

18- 229-0 *	18- 233-0 *
18- 228-0 **	18- 234-0 **
18- 231-0 *	18-
18- 232-0 **	18-

**Zoning District:** \* P1 & FB Res overlay  
\*\* R2 & FB Res overlay

**Applicant/Property Owner:** Onalaska United Methodist Church

**Project Contact:** Jeffrey S. Moorhouse, Trustee Chair

**Mailing Address:** 212 4th Avenue North

**City, State, Zip:** Onalaska, WI 54650

**Phone Number:** (608) 783-3380

**Email:** jeffm@paragon-assoc.biz

*The undersigned hereby makes an application for the location stated herein. The undersigned agrees that all work shall be done in accordance with the requirements of the City of Onalaska Unified Development Code / Zoning Ordinance and with all other applicable City Ordinances and the laws and regulations of the State of Wisconsin.*

**Signature of Applicant:**

*Trustee Chair*

**Date:**

**Signature of Property Owner:**

*Jeffrey S. Moorhouse*

**Date:**

*3-28-2018*

**OFFICE USE ONLY:**

**Date Submitted:**

**Permit Number:**

**Application Received by:**



# CITY OF ONALASKA

## Planned Unit Development Checklist (Final Implementation Plan)

The submittal to your proposed project must include the following information in order to be considered an Application for Planned Unit Development (PUD) Review for Final Implementation Plan (FIP). The submittal of the proposed project must include the following information in order to be considered a complete application for a FIP. Refer to City of Onalaska's Unified Development Code for more information regarding standards, plans, and requirements (Section 13-13-3-7 (c) ). **Please provide the following with the site plan application submittal: two (2) full-size copies (24" x 36"), two (2) 11" x 17" copies, and a 24" x 36" electronic version of entire plan set.**

1. Completed PUD Final Implementation Plan Application form with completed and signed checklist.  
 Attached
2. A cover letter is required providing a statement describing the PUD character and schedule for implementing the development. Other information includes, but not limited to, permitted/ conditional uses, acreage, density, setbacks, building height, environmental design, common open space, architecture, parking, streets, utilities, drainage, circulation/ access, landscaping and signage. This information and items in plan set will be used by the Plan Commission to review the PUD.  
 Attached
3. **Plan Set.** A plan set that contains the following detailed construction and engineering plans and related details, documents, and schedules:
  - A. An accurate scaled map of the project consistent with the General Development Plan.
  - B. Pattern of public and private circulation (vehicular, pedestrian, and bicycling).
  - C. Detailed lot layout.
  - D. The arrangement of buildings.
  - E. Architectural elevations and details.
  - F. A master grading and drainage plan.
  - G. Utility plans.
  - H. An open space plan (minimum 15% of project area) with provisions for maintenance.
  - I. A master landscaping plan (including street tree provisions, screening, parking lot landscaping (where applicable), and preservation of mature, healthy trees.
  - J. Proof of financial treatment.
  - K. An economic analysis.
  - L. A development schedule indicating construction commencement and completion, project phases, the dedication of public improvements, and the administration of covenants. Attached     Does Not Apply, Please state reason: \_\_\_\_\_

Following the review of the Final Implementation Plan by the Plan Commission and Common Council, if approved the developer/applicant shall carry out the plans in accordance with the officially submitted and approved plans on file. The developer/applicant shall record the legal description of the PUD and the Conditions of Approval which shall run with the land at the La Crosse County Register of Deeds.

Any subsequent change to the PUD shall follow the PUD Amendment process as noted in Section 13-3-7 (f) of the Unified Development Code of the City of Onalaska.

All information listed above is attached to this application and I understand that incomplete submittals may delay the processing of the application.

  
Applicant Signature  
  
Trustee Chair

3-28-2018  
Date



# CITY OF ONALASKA

## STAFF REPORT

Plan Commission – April 24, 2018

- Agenda Item: Consideration of a non-substantial alteration change for the Theater Road Center PCID.
- Applicant: Paul Borsheim of Borton Construction, Inc., 2 Copeland Avenue, Suite 201, La Crosse, WI 54601
- Property Owner: Time Enterprise, INC, PO Box 155, West Salem, WI 54669
- Parcel Number: 18-3580-5
- Site Location: Along Theater Road (eastern side)
- Existing Zoning: Light Industrial (M-1) District with Planned Commercial Industrial District (PCID) Overlay

Background:

This request is to review and determine whether the proposed changes to the Theater Road Center PCID constitute a substantial alteration. The applicant proposes a 3,201 square foot addition to the rear of Brenengen Facility to allow additional service bays and a detailing station. The exterior of the proposed addition will be required to match the existing facility façade. City Staff intend to begin the process of reviewing the site plan request contingent upon approval to the proposed project.

- Action Requested: Consideration of the non-substantial change (as determined by the Plan Commission Sub-Committee) to the Theater Road Center PCID.







City of Onalaska, Department of Planning & Zoning, 415 Main Street, Onalaska, WI 54650

### PUD / PCID AMENDMENT APPLICATION

The following checklist will ensure the timely processing of your application:

➔ **Overview/ Cover Letter Describing the following:**

- ▶ Detailed Description of Proposed Amendment
- ▶ Plan Set including: Grading/Drainage, Utilities, Site Layout, Landscaping, etc.

➔ **\$700 Permit Application Fee** (Payable to the City of Onalaska) if a Public Hearing is requested or required\*.

*If incomplete, no further processing of the application will occur until the deficiencies are corrected.*

An amendment to an approved Planned Unit Development (PUD) or Planned Commercial Industrial District (PCID) may be proposed at any time. Amendments shall be initiated by submitting a completed application by owners of the parcels in question. Depending on the degree of the amendment, a public hearing may be required by the Plan Commission.

\*Any changes to the PUD/PCID requires Plan Commission and if determined a substantial change, the Plan Commission and Common Council will review the amendment with a public hearing.

**Brief Description of Request to Amend a PUD or PCID.**

*We are proposing a 3201 square foot Addition to the Rear of the building for additional service bays and detailing. We are asking that this project be considered as a non-substantial change.*

Property Address:  
Parcel Number:  
18-  
Zoning District:  
*Light Industrial - PUD*

Applicant: *Barton Construction, Inc. - Paul Borsheim*  
Mailing Address: *2 Copeland Ave Suite 201*  
City, State, Zip: *La Crosse, WI 54601*  
Phone Number: *608-779-0400*  
Email: *Paul.Borsheim@BartonConstruction.com*  Primary Contact

Business: *Brenneman Chevrolet of La Crosse & Onalaska*  
Owner/Contact: *Don Brenneman*  
Mailing Address: *P.O. Box 155*  
City, State, Zip: *West Salem, WI 54669*  
Phone Number: *608-786-7204*  
Email: *don@brenneman.com*  Primary Contact

Property Owner: *Trine Enterprises Inc*  
Contact: *Don Brenneman*  
Mailing Address: *P.O. Box 155*  
City, State, Zip: *West Salem, WI 54669*  
Phone Number: *608-786-7204*  
Email: *don@brenneman.com*  Primary Contact

The undersigned hereby makes an application for the location stated herein. The undersigned agrees that all work shall be done in accordance with the requirements of the City of Onalaska Unified Development Code / Zoning Ordinance and with all other applicable City Ordinances and the laws and regulations of the State of Wisconsin.

Signature of Applicant: *Paul Borsheim - Agent Barton Const.* Date: *3-26-18*  
Signature of Property Owner: *Don Brenneman* Date: *3/26/18*

OFFICE USE ONLY:	Date Submitted:	Permit Number:
Permit Fee:	<input type="checkbox"/> Cash <input type="checkbox"/> Check #	Application Received by:

# REQUEST FOR ACTION & POSSIBLE CONSIDERATION BY PLAN COMMISSION:

April 24, 2018

## Agenda Item 10:

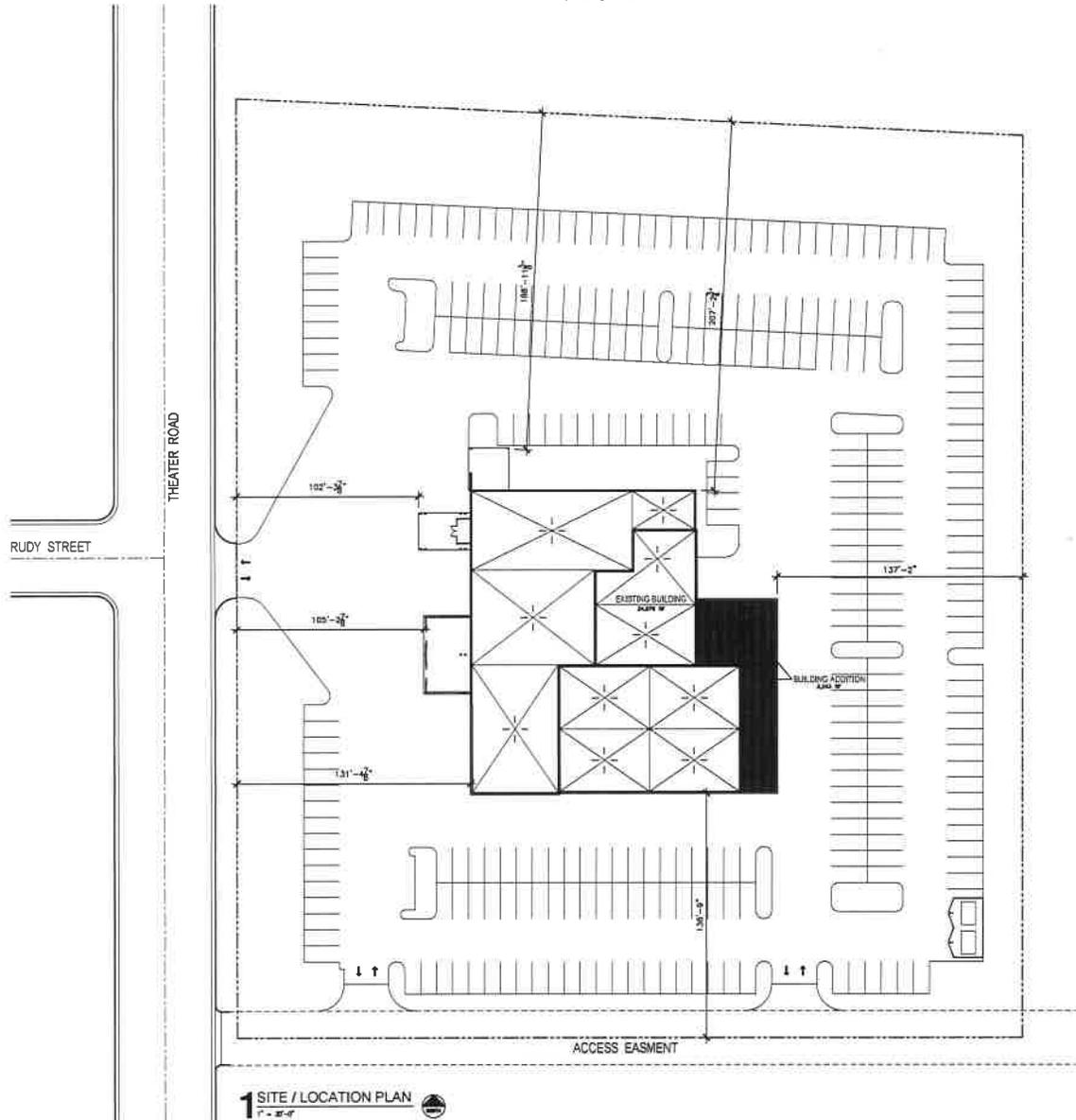
**Consideration of a non-substantial change to the Theater Road Center PCID located at 531 Theater Road, submitted by Paul Borsheim of Borton Construction, Inc., 2 Copeland Avenue, Suite 201, La Crosse, WI 54601, on behalf of Time Enterprise, INC, PO Box 155, West Salem, WI 54669 (Tax Parcel #18-3580-5).**

1. Applicant shall comply with original PCID conditions of approval.
2. Obtain a Site Plan Permit for proposed development prior to any construction activities.
3. Obtain sign permits for all individual sign replacements and/or re-faces.
4. Owner/developer shall pay all fees and have all plans reviewed and approved by the City prior to obtaining a building permit. Owner/developer must have all conditions satisfied and improvements installed per approved plans prior to issuance of occupancy permits.
5. All conditions run with the land and are binding upon the original developer and all heirs, successors and assigns. The sale or transfer of all or any portion of the property does not relieve the original developer from payment of any fees imposed or from meeting any other conditions.
6. Any omissions of any conditions not listed in committee minutes shall not release the property owner/developer from abiding by the City's Unified Development Code requirements.

# BRENENGEN CHEVROLET CADILLAC

531 THEATER ROAD  
ONALSKA, WI 54650

INTERSTATE 90



**1** SITE / LOCATION PLAN  
P. 1-2 of 2

**2**

STRUCTURAL NOTES	
1.	DESIGN CODES - ( ALL LATEST EDITIONS ) - AMERICAN CONCRETE INSTITUTE ( ACI ) - AMERICAN INSTITUTE OF STEEL CONSTRUCTION ( AISC ) - NATIONAL CONCRETE MASONRY ASSOCIATION ( NCMA ) - 2008 INTERNATIONAL BUILDING CODE
2.	DESIGN LIVE LOADS - ROOF = 20.0 PSF + 20.0 PSF APPLICABLE DRIFT LOADS - WIND 12.5 PSF W/ ROOF & WALLS - FLOOR = 100 PSF
3.	SEAL - 2000 PSF ( UNWEIGHTED ) - 2000 PSF ( WEIGHTED ) USED FOR DESIGN - EXISTING WALL FOOT ON UNWEIGHTED DESIGN, SOIL ON COMPOSITE ENGINEERING FILL, EXISTING FILL SOILS, FILL, SHALL BE AS PER CONTRACT DOCUMENTS, DETERMINING PROCTER DENSITY.
4.	ONE-IN-PLACE CONCRETE - ARRANGEMENTS, REINFORCING, DETAILING AND SUPPORT OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI AND AISC STANDARDS. - BASIC REINFORCING SHALL BE #4 BARS, CONTRACTORS LAP BARS #4-20", #4-24", #4-28" - REINFORCING STEEL SHALL BE A615 GRADE 60, 60,000 PSI - MAXIMUM SIZE OF AGGREGATE IS 1 1/2" - MINIMUM SLAB THICKNESS IS 4" - CONCRETE COMPRESSIVE STRENGTH IS 3000 PSI - SUBFLOORING FILL 2000 PSF - FOUNDTION & FOUNDATION WALLS 3000 PSF - STRENGTH & EXISTING SLABS 4000 PSF
5.	MEANS - MASONRY BLOCK UNITS - NORMAL WEIGHT - MASONRY TO BE TYPE 1 - CONSTRUCTION PER AREA CDD - INSTALL FLOORING AT BASE & ALL OPENINGS - INSTALL BLOCK ENDINGS TO BE NOT TO COLLAPSE - INSTALL REEF BOLTS AT 48" ON

CONSTRUCTION EXPRESS INC  
411 LA CROSSE STREET  
LA CROSSE, WI 54601  
(608) 794-8290

BRENENGEN CHEVROLET CADILLAC  
531 THEATER ROAD  
ONALSKA, WI 54650

**3**

CODE INFORMATION	
2008 WISCONSIN ENROLLED COMMERCIAL BUILDING CODE	
USE & OCCUPANCY CLASSIFICATION: PRIMARY USE 2014 BUSINESS GROUP 9 - MOTOR VEHICLE SHOWROOM OTHER USE 211.2 BUSINESS GROUP 9 - (RECREATION-HOUSING) - MOTOR VEHICLE SHOWROOM	
BUILDING HEIGHTS & AREAS (TABLE 503) GROUP 9 MAXIMUM HEIGHT = 3 STORIES MAXIMUM FLOOR-TO-FLOOR = 14.00 FT GROUP 9-1 MAXIMUM HEIGHT = 3 STORIES MAXIMUM FLOOR-TO-FLOOR = 17.00 FT	
TYPE OF CONSTRUCTION (TABLE 503) I-B	
FIRE PROTECTION SYSTEMS (CHAPTER 9) I-B 2.10.1.1 AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED IF 3-1/2" FIRE ALARM IS INSTALLED WITHIN 30'.	
FIRE RESISTIVE RATING (TABLE 601) STRUCTURAL FRAME-COLUMNS, BRACES, TRUSSES 0-60 MIN PERIOD STORAGE ROOMS SHALL - 1-30 FT (TABLE 602) 0-60 MIN PERIOD ELEVATOR SHAFTS 0-60 MIN PERIOD ELEVATOR HOISTWAYS 0-60 MIN PERIOD ROOF SHALL BE 0-60 MIN PERIOD ELEVATOR ENCLOSURES 0-60 MIN PERIOD ROOF OF GARAGES (TABLE 602) 1-HR MASONRY PARTITIONS (TABLE 602) 1-HR ELEVATOR SHAFTS 0-60 MIN PERIOD ROOF STRUCTURE 0-60 MIN PERIOD	
EXIT DISTANCE (TABLE 1016.1) MAXIMUM = 300 FT (SEE TABLE 1016.1)	
OCCUPANT LOAD (TABLE 1004.1.1) EXISTING FIRST FLOOR BUILDING AREA = 34,276 SF BUILDING HEIGHT AREA = 2,842 SF TOTAL FIRST FLOOR BUILDING HEIGHT AREA = 37,118 SF BUILDING AREA = 4,500 SF / 100 SF/OCC = 45 OCCUPANTS HEIGHT AREA = 1,500 SF / 100 SF/OCC = 15 OCCUPANTS GARAGE/STORAGE/REPAIR AREA = 15,000 SF / 100 SF/OCC = 150 OCCUPANTS TOTAL NUMBER OF OCCUPANTS = 195 (SEE TABLE 1004.1.1)	
MEANS OF EGRESS: (1002.1) REQUIRED EGRESS WIDTH = 140 PERSONS/1.0 = 140 INCHES 1.0 IN. OR 6 IN. (SEE TABLE 1002.1.1) = 60 INCHES OF EGRESS WIDTH	
SANITARY FACILITIES (TABLE 2902.1) REQUIRED MEN'S = 1 PER 100 PERSONS = 2 MEN'S = 1 PER 20 IN. PERSONS = 2 MEN'S MEN AND WOMEN SEPARATE FACILITIES CURRENTLY PROVIDED MEN - 3 TOILETS & 2 URINALS WOMEN - 3 TOILETS	

JOB # 18000  
APR 5, 2018  
REVISIONS

**4**

DRAWING INDEX	
NO	DESCRIPTION
A001	SITE PLAN, CODE & STRUCT INFO
A100	EXISTING FLOOR PLAN
A101	REMODELED FLOOR PLAN
A102	REMODELED ROOF PLAN
A200	BUILDING ELEVATIONS
A300	WALL SECTIONS & DETAILS
A400	DEMO AND ADDITION FLOOR PLAN
A401	ADDITION FOUNDATION AND FRAMING PLANS
A500	SCHEDULES, DETAILS

PLOT 1"=30'  
SITE PLAN  
STRUCTURAL INFO  
CODE INFO

**A001**